

NOTES TO AS-BUILT DOMESTIC QUARTERS

GENERAL NOTES AND FINISHES:

All levels and dimensions to be checked on site.
 Pre-stressed concrete lintols to wall openings as required as specified by competent person.
 To Ground Storey:
 Suspended timber flooring and 225mm 15MPA Suspended concrete slab to competent person.
 To First Storey:
 Suspended timber flooring and 225mm 15MPA Suspended concrete slab to competent person.
 Timber sash window and door frames with all glazing to SANS 10400 - N:2012 with toughened safety glass as required and to SANS 613. External finish: 220mm Brick, Bagwash and painted with facebrick plinth.
 Internal finish: 110mm brick, Plaster and paint. Brickforce every 2-3 courses with damp proofing at floor and window cill levels.

ROOF NOTES:

Painted metal roof sheeting on 50x76mm purlins on approved waterproof underlay and suitable non-combustible insulation on 38x114mm/50x152mm gangnail rafters/trusses designed by and certified by competent person @ 1 000/c max on 38x114mm wallplates. Roof to be anchored with 2.4mm strands galvanised wire ties 3-6 courses below wallplates.
 Roof pitch 26° & 15°
 Rhinoboard ceilings.
 Fibre-cement fascia and bargeboards.
 Aluminium gutters and downpipes.

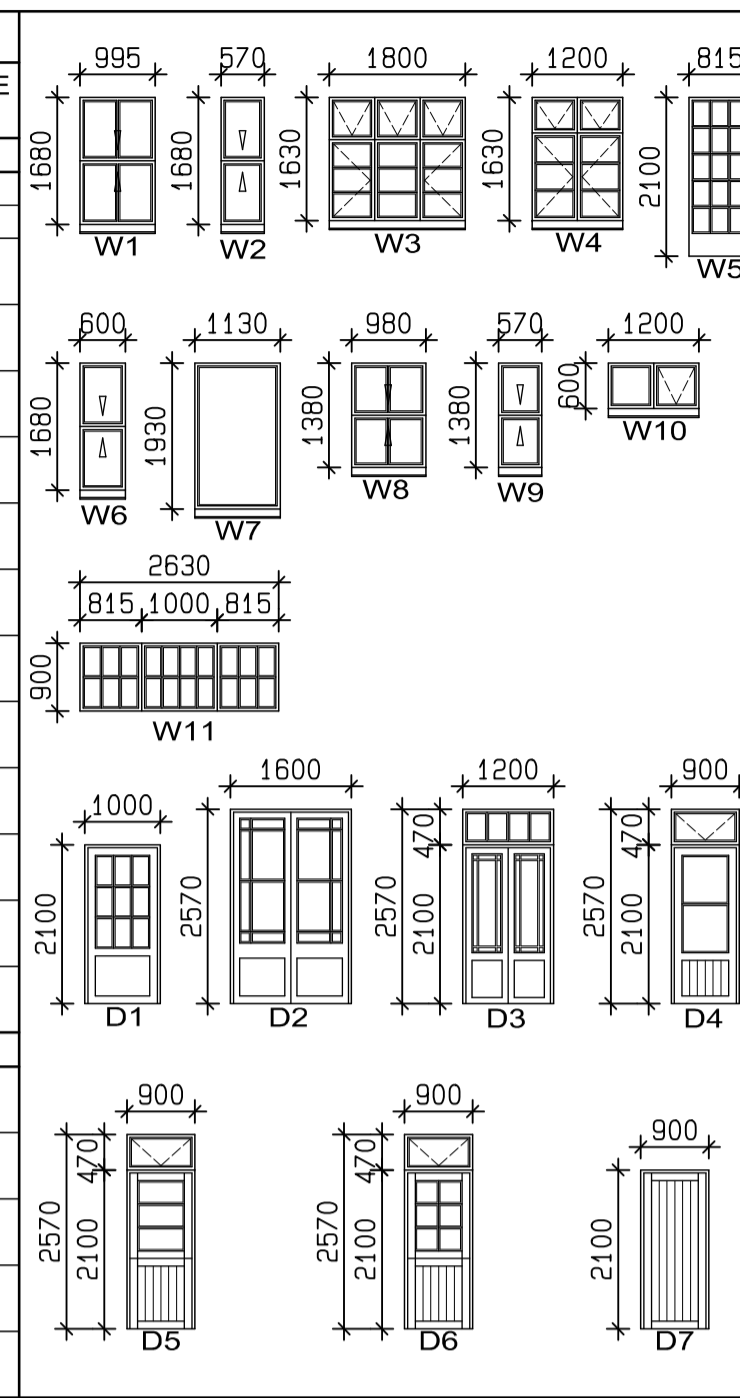
DRAINAGE NOTES:

le's to all bends and junctions.
 Soil pipes to be 100mm dia pvc.
 Waste pipes to be 50mm dia pvc.
 Stormwater pipes to be 76mm dia pvc.
 75mm curbing to all gullies and showers.
 Standard 3 compartment septic tank with soakpit and evapo area.
 Stormwater to be directed to rainwater soakpits as indicated.

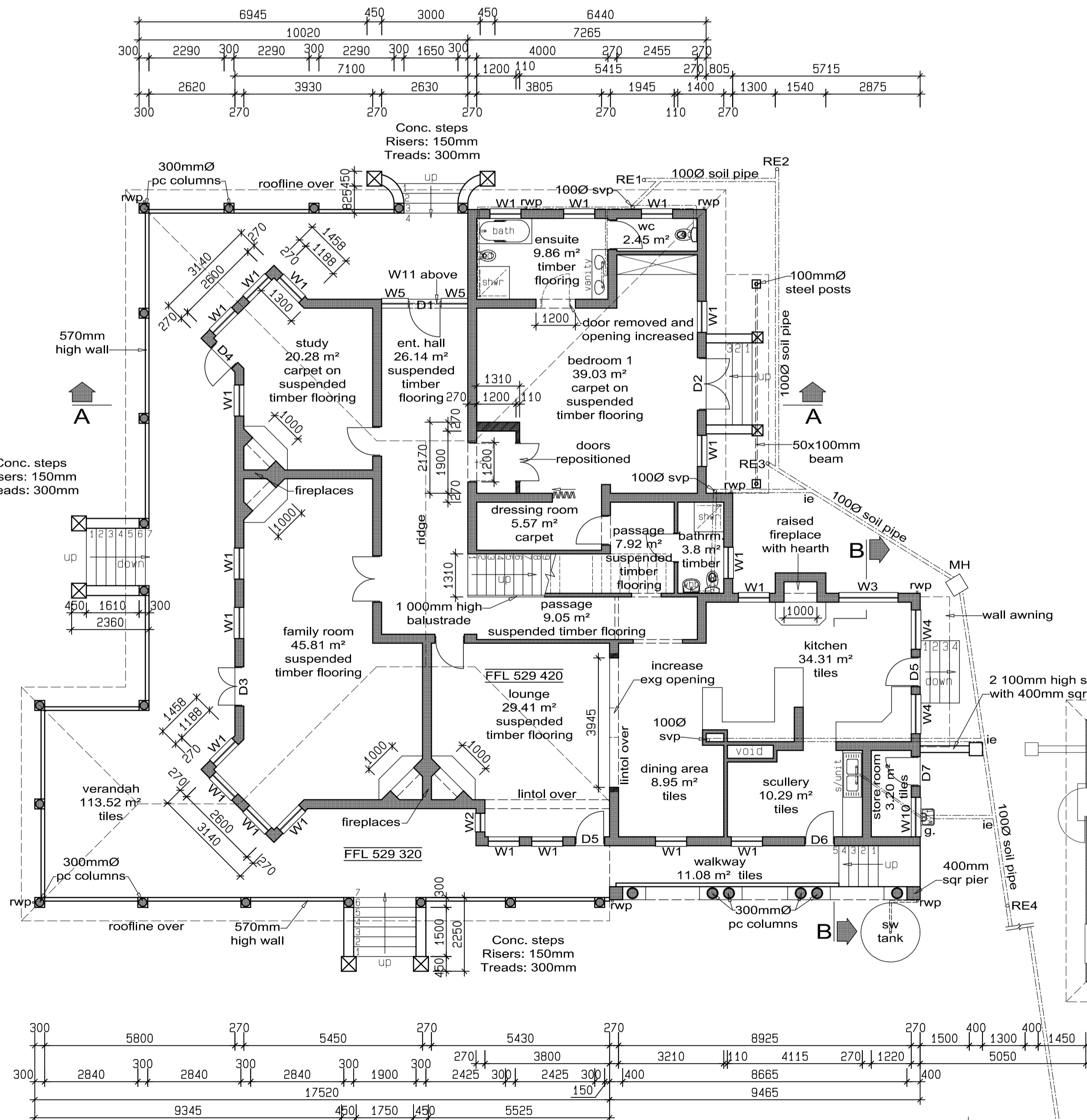
NB: Notes to be read in conjunction with energy efficiency compliance.

GLAZING SCHEDULE

WINDOW REF.	NO. OF	GLASS TYPE	GLASS MM	MAX PANE SIZE
GROUND STOREY				
W1	17	M/A/G/Clear	3mm	0.75 m ²
W2	4	T/S/G/Clear	4mm	1.50 m ²
W3	1	M/A/Glass Clear	3mm	0.75 m ²
W4	2	M/A/Glass Clear	3mm	0.75 m ²
W5	2	T/S/Glass Clear	4mm	1.50 m ²
W10	1	M/A/Glass Clear	3mm	0.75 m ²
D1	1	T/S/Glass Clear	4mm	1.50 m ²
D2	1	T/S/Glass Clear	4mm	1.50 m ²
D3	1	T/S/Glass Clear	4mm	1.50 m ²
D4	1	T/S/Glass Clear	4mm	1.50 m ²
D5	2	T/S/Glass Clear	4mm	1.50 m ²
D6	1	T/S/Glass Clear	4mm	1.50 m ²
D7	2	SOLID TIMBER	N/A	N/A
FIRST STOREY				
W1	10	M/A/Glass Clear	3mm	0.75 m ²
W6	1	M/A/Glass Clear	3mm	0.75 m ²
W7	1	T/S/Glass Clear	4mm	1.90 m ²
W8	1	T/S/Glass Clear	4mm	1.50 m ²
W9	1	T/S/Glass Clear	4mm	1.50 m ²

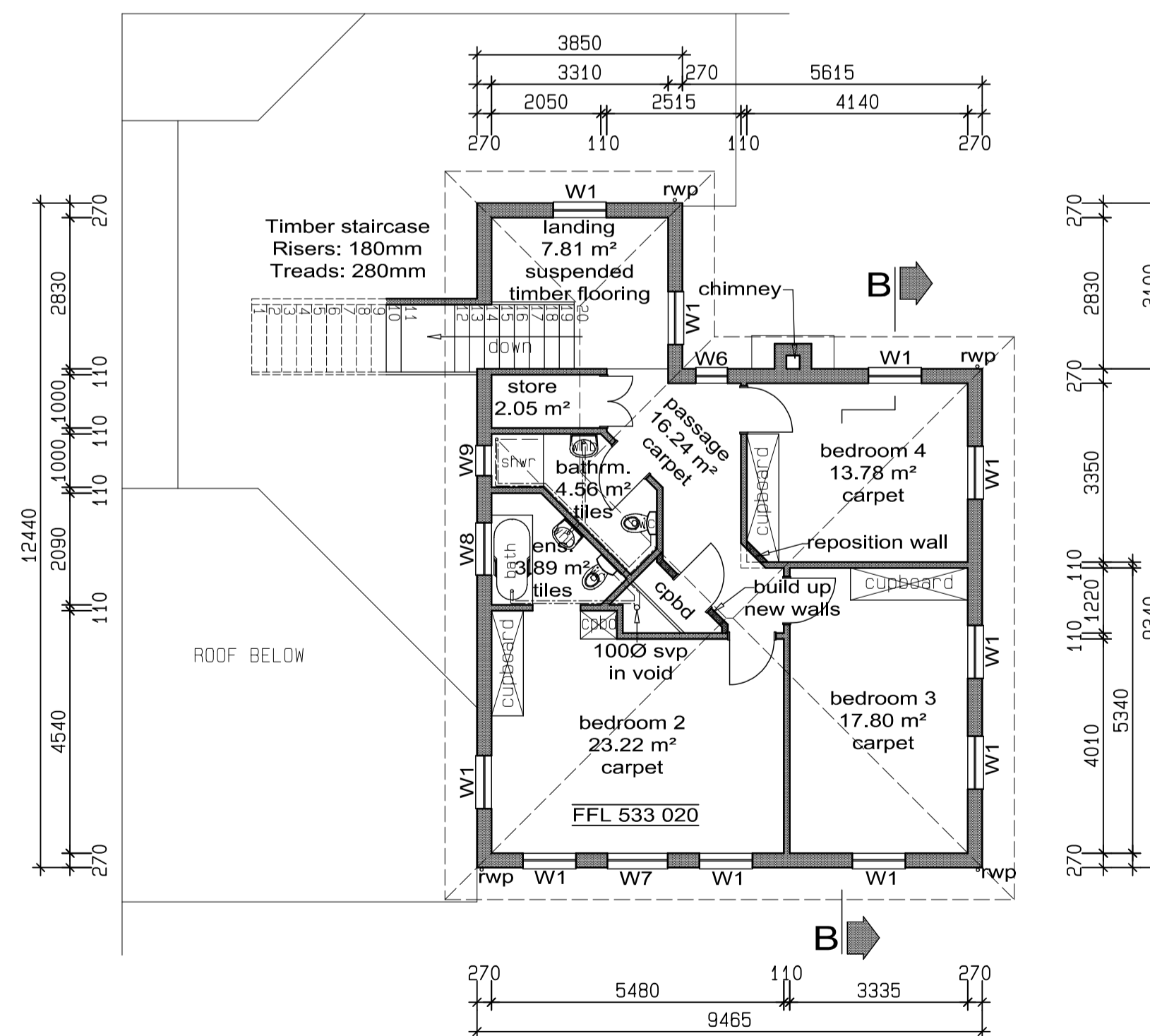
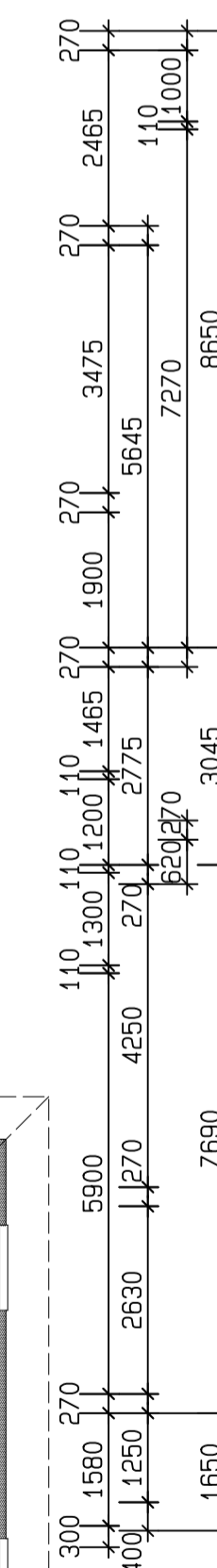


No change to record of glazing schedule



GROUND STOREY PLAN
SCALE 1:100

AREAS:
 Residence: 308.51 m²
 Verandah: 121.51 m²
 No additional area.



FIRST STOREY PLAN
SCALE 1:100

AREAS:
 Residence: 100.33 m²
 No additional area.

ALLISON'S DRAWING OFFICE
 Architectural Plan Service
ALLISON WEST
 PRSArchT
 S10030
 MSAIBD

2 KwaNyoni
 3 Stony Hill Lane
 Assagay 3610
 Tel: 031- 765 1630
 blazewest@mweb.co.za

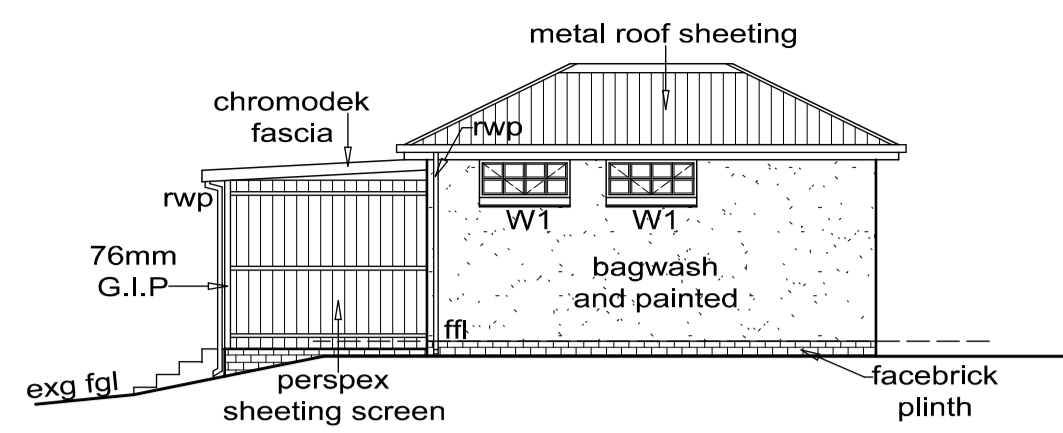
PROPOSED INTERNAL ALTERATIONS TO EXISTING RESIDENCE, GARDEN PAVILLION AND ADDITION TO DOMESTIC QUARTERS

ERF 1719
 KLOOF (EXTENSION NO. 7)

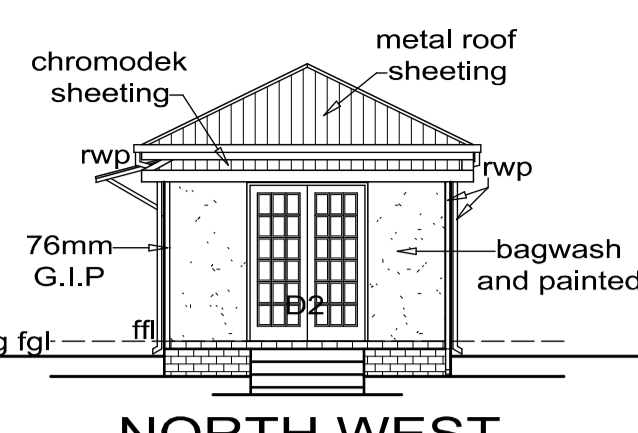
22 PIONEER ROAD
 KLOOF

FOR: R.A. DRUMMOND
 CLASSIFICATION H3
 DWG. NO: 1719/KLF/1
 OWNERS SIGNATURE

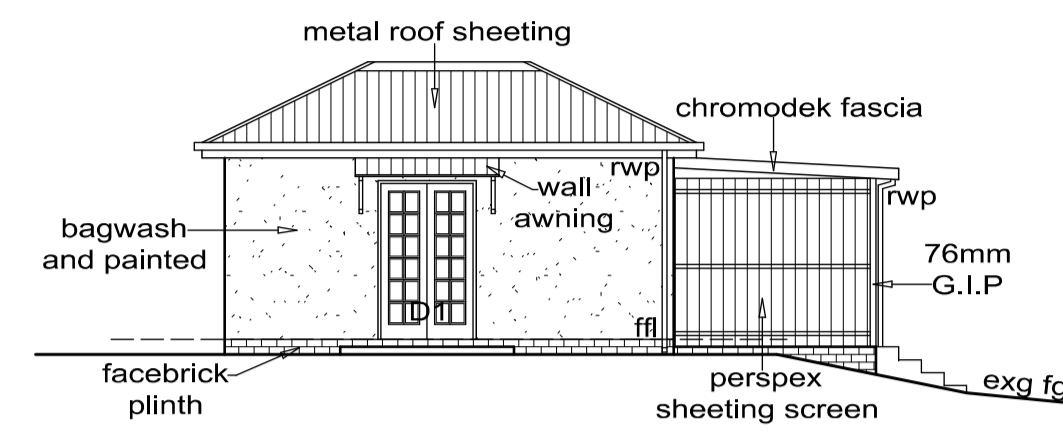
DRAWN: B. C. PATERSON
 CHECKED: A. L. WEST
 SCALES: AS SHOWN ON PLAN
 DATE: 09/06/2020
 PLAN SIZE: A1



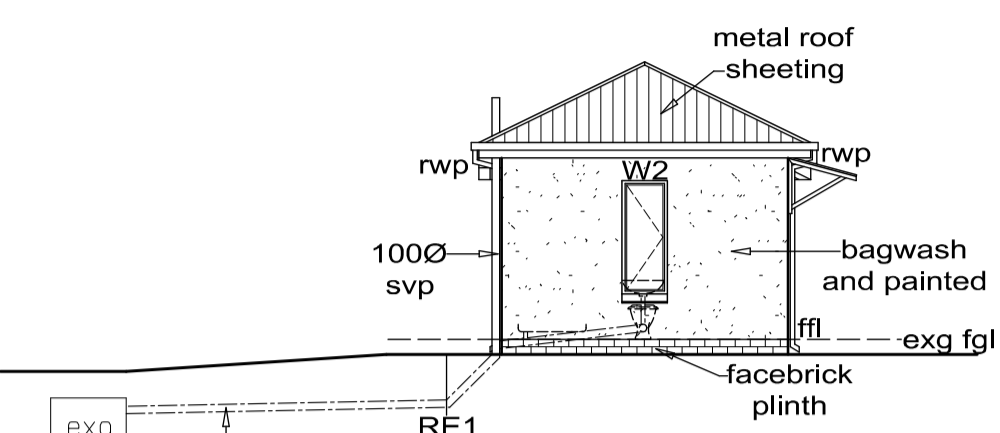
SOUTH WEST ELEVATION
SCALE 1:100



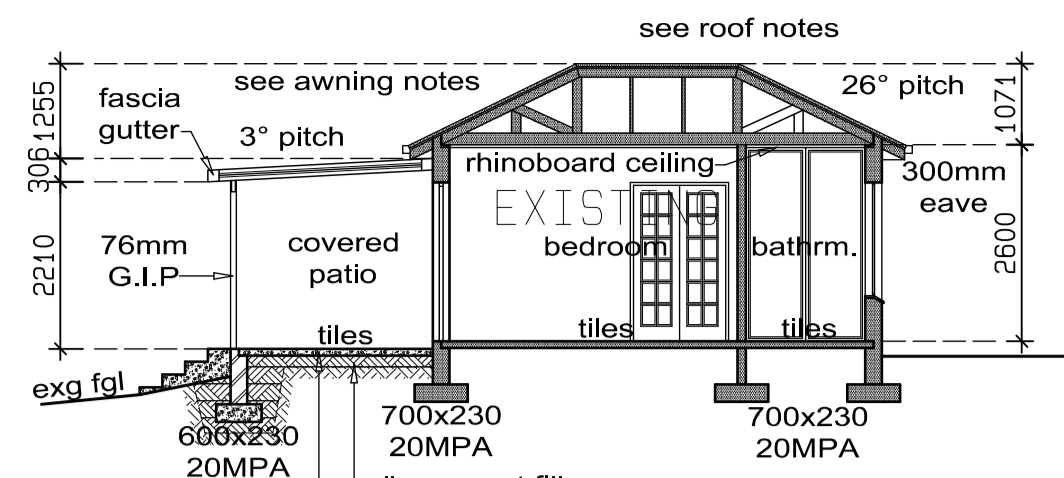
NORTH WEST ELEVATION
SCALE 1:100



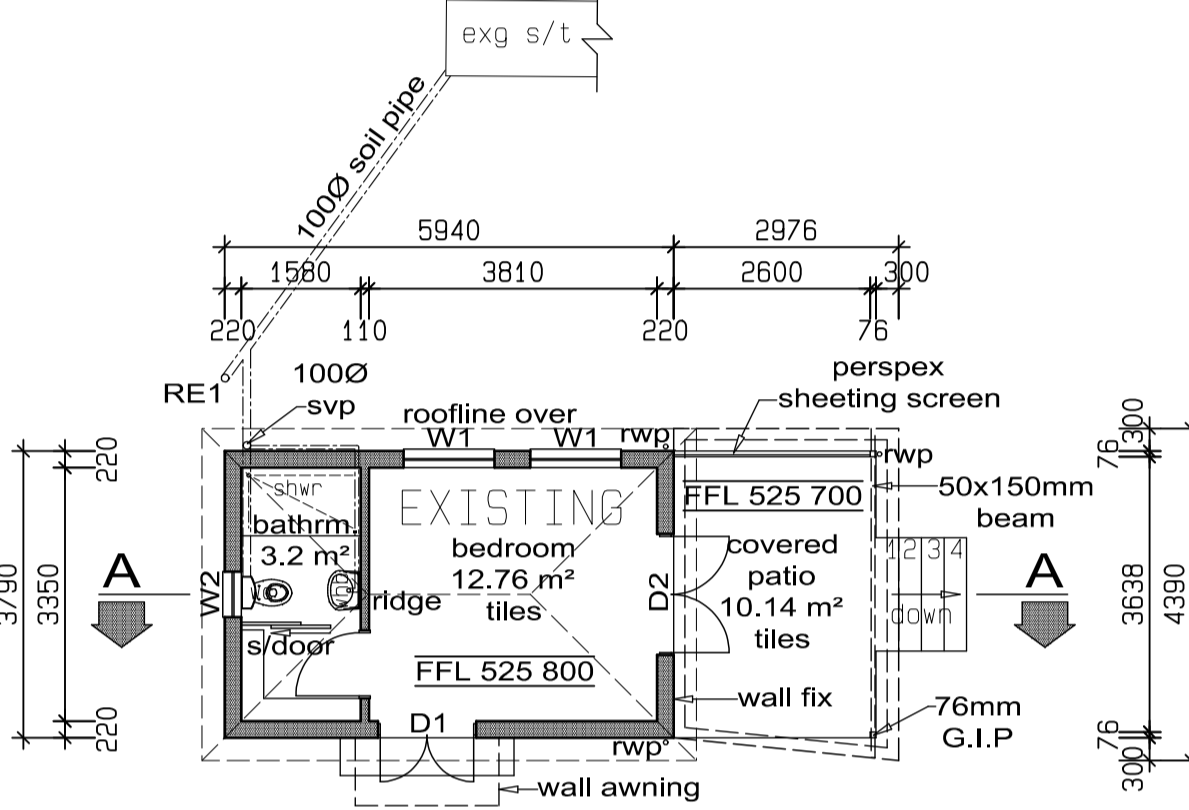
NORTH EAST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100



SECTION A-A
SCALE 1:100



GROUND STOREY PLAN
SCALE 1:100

AREAS:
D/Quarters: 22.51 m² (Existing)
Covered patio: 12.61 m² (Proposed)

WINDOW REF.	NO. OF	GLASS TYPE	GLASS MM	MAX PANE SIZE
W1	1	M/A/Glass Clear	3mm	0.75 m ²
W2	1	T/S/Glass Opaque	4mm	1.90 m ²
D1	1	T/S/Glass Clear	4mm	1.90 m ²
D2	1	T/S/Glass Clear	4mm	1.90 m ²

No change to record of glazing schedule

NOTES TO AS-BUILT DOMESTIC QUARTERS

GENERAL NOTES AND FINISHES:

All levels and dimensions to be checked on site. Pre - stressed concrete lintols to wall openings as required as specified by competent person. 90mm 15MPA Concrete slab with brc mesh ref 193 on 250 micron underlay on well compacted poisoned earth. Timber window and door frames with all glazing to SANS 10400 - N:2012 with toughened safety glass as required and to SANS 613. External finish: 220mm Brick, Bagwash and painted with facebrick plinth. Internal finish: 110mm brick, Plaster and paint. Brickforce every 2-3 courses with damp proofing at floor and window cill levels.

ROOF NOTES:

Painted metal roof sheeting on 50x76mm battens on approved waterproof underlay and suitable non-combustible insulation on 38x114mm/50x152mm gangnail rafters/trusses designed by and certified by competent person @ 700/c max on 38x114mm wallplates. Roof to be anchored with 2.4mm strands galvanised wire ties 3-6 courses below wallplates. Roof pitch 26° & 15°. Rhinoboard ceilings. Fibre-cement fascia and bargeboards. Aluminium gutters and downpipes.

DRAINAGE NOTES:

le's to all bends and junctions. Soil pipes to be 100mm dia pvc. Waste pipes to be 50mm dia pvc. Stormwater pipes to be 76mm dia pvc. 75mm curbing to all gullies and showers. **AWNING NOTES:** All levels and dimensions to be checked on site. Chromodek long span roof sheeting - 0.6mm - on 38mm x 115mm galvanised iron framework at 3° pitch. Roofing to be supported on 76mm G.I.P. and fixed to structure as indicated. Awning to be installed by specialist and to manufacturers instructions. Chromodek fascia gutter with upvc downpipe.

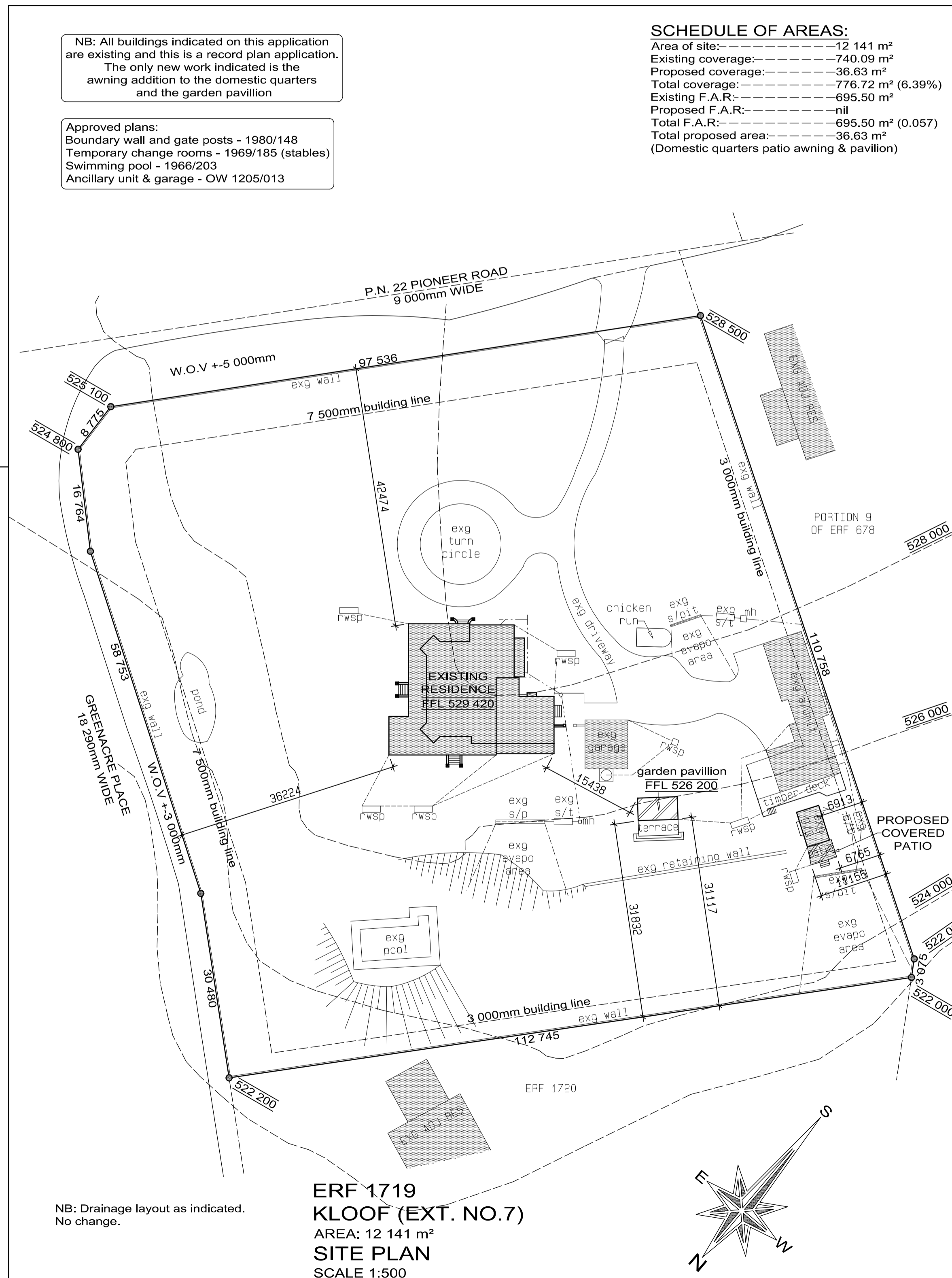
NB: All buildings indicated on this application are existing and this is a record plan application. The only new work indicated is the awning addition to the domestic quarters and the garden pavillion

Approved plans:
Boundary wall and gate posts - 1980/148
Temporary change rooms - 1969/185 (stables)
Swimming pool - 1966/203
Ancillary unit & garage - OW 1205/013

SCHEDULE OF AREAS:

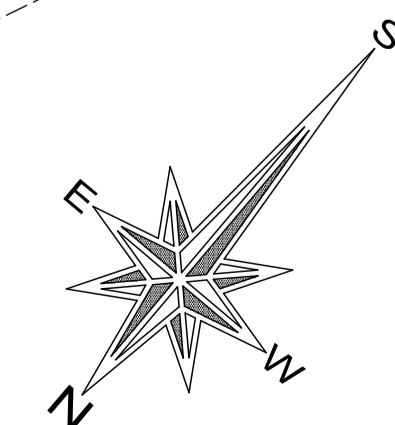
Area of site:	12 141 m ²
Existing coverage:	740.09 m ²
Proposed coverage:	36.63 m ²
Total coverage:	776.72 m ² (6.39%)
Existing F.A.R.:	695.50 m ²
Proposed F.A.R.:	nil
Total F.A.R.:	695.50 m ² (0.057)
Total proposed area:	36.63 m ²

(Domestic quarters patio awning & pavillion)



ERF 1719 KLOOF (EXT. NO.7)
AREA: 12 141 m²
SITE PLAN
SCALE 1:500

NB: Drainage layout as indicated. No change.



GENERAL NOTES AND FINISHES:

All levels and dimensions to be checked on site. Pre - stressed concrete lintols to wall openings as required as specified by competent person. 90mm 15MPA Concrete slab with brc mesh ref 193 on 250 micron underlay on well compacted poisoned earth. Timber sash window and door frames with all glazing to SANS 10400 - N:2012 with toughened safety glass as required and to SANS 613. External finish: M140 Block, Bagwash and painted. Internal finish: Plaster an paint. Brickforce every 2-3 courses with damp proofing at floor and window cill levels.

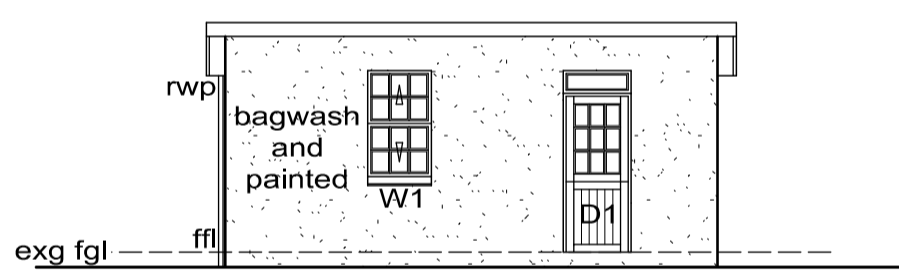
ROOF NOTES:

Fibre cement sheeting on 50x76mm battens on 38x114mm/50x152mm gangnail rafters designed by and certified by competent person @ 700/c max on 75x230mm timber beam. Roof to be anchored with 2.4mm strands galvanised wire ties 3-6 courses below wallplates. Roof pitch 7°. Rhinoboard ceilings. Fibre cement fascia and bargeboards. Fibre cement gutters and downpipes.

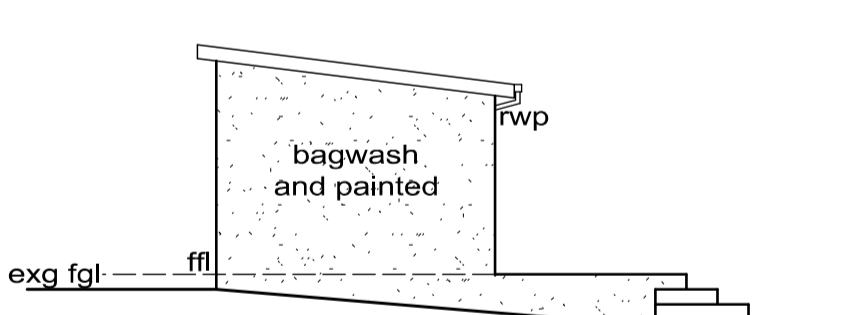
WINDOW REF.	NO. OF	GLASS TYPE	GLASS MM	MAX PANE SIZE
W1	1	M/A/Glass Clear	3mm	0.75 m ²
D1	1	T/S/Glass Clear	4mm	1.90 m ²



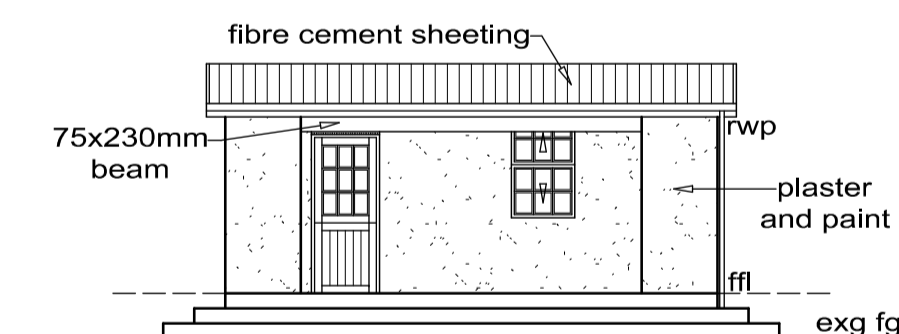
SOUTH EAST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100

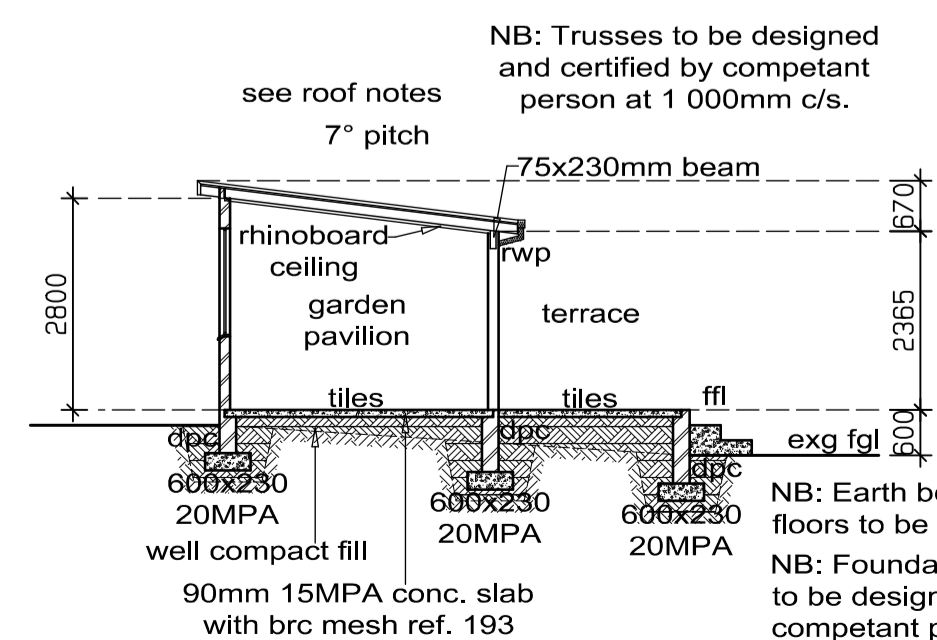


NORTH EAST ELEVATION
SCALE 1:100



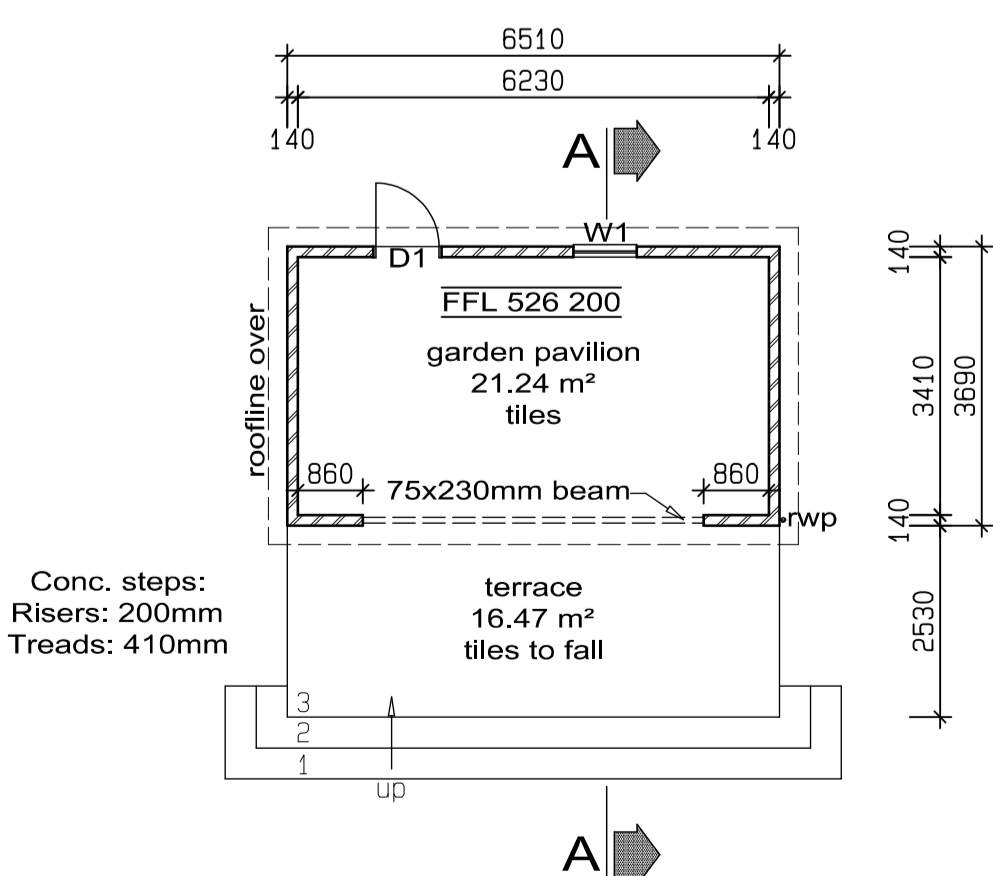
NORTH WEST ELEVATION
SCALE 1:100

All details indicated are existing - record plan.



SECTION A-A
SCALE 1:100

NB: Earth beneath all floors to be well poisoned. NB: Foundations and foundation walls to be designed and certified by competent person NB: Filling to be placed in uncompacted layers not exceeding 100mm in respect of hand compaction or 150mm in respect of compaction by mechanical means.



GROUND STOREY PLAN
SCALE 1:100

AREAS:
Pavillion: 24.02 m²

ALLISON'S DRAWING OFFICE
Architectural Plan Service

ALLISON WEST

PrSArchT
SI0030
MSAIBD

2 KwaNyoni
3 Stoney Hill Lane
Assagay 3610
Tel: 031- 765 1630
blazewest@mweb.co.za

PROPOSED INTERNAL ALTERATIONS TO EXISTING RESIDENCE, GARDEN PAVILLION AND ADDITION TO DOMESTIC QUARTERS

ERF 1719
KLOOF (EXTENSION NO. 7)

22 PIONEER ROAD
KLOOF

FOR: R.A. DRUMMOND
CLASSIFICATION H3
DWG. NO: 1719/KLF/1
OWNERS SIGNATURE

DRAWN: B. C. PATERSON
CHECKED: A. L. WEST
SCALES: AS SHOWN ON PLAN
DATE: 09/06/2020

PLAN SIZE: A1