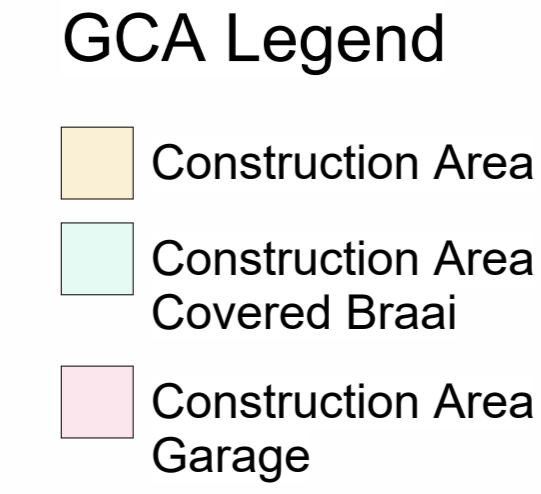
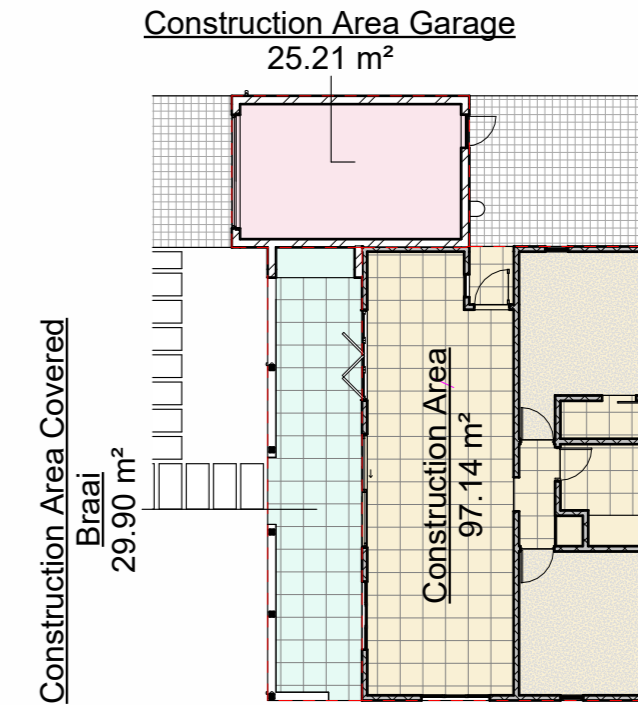
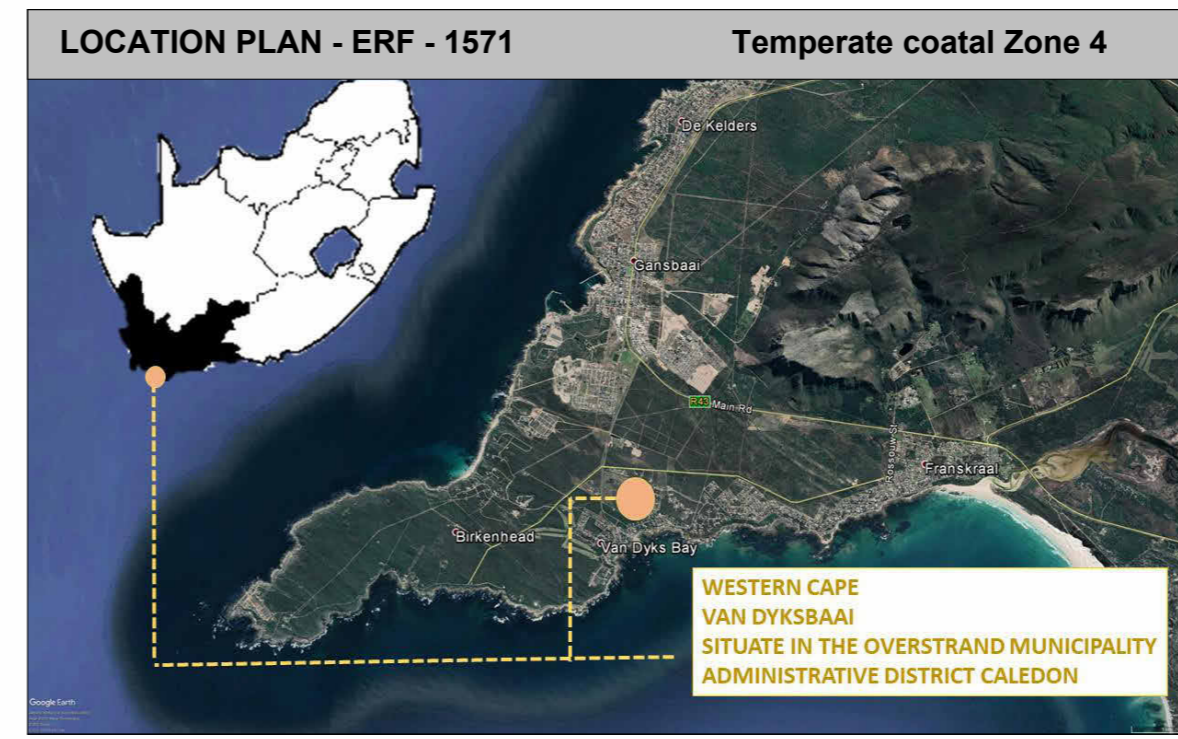


ERF 1571 - COVERAGE

SITE	ERF 1571	Area 602.63m ²
Coverage Site :		
Permissible m ²	50%	301m ²
Actual Coverage m ²	27%	157m ²
Height Restriction measured from base level	8m	
Building Lines:		
Street	4m	
Side	2m	
Rear	2m	

PLAN LEGEND

New Masonry walls - 190mm Cement Block walls - Plaster and paint	■
New Fibre Cement walls - 114x38 Timber frame wall with Nutec 10mm High density board external/12mm Rhinoboard drywall internal	■
New Concrete - According to engineer's specifications	■
New timber	■
New Steel	■
New Concrete	■



GCA Area Plan
1 : 200

Gross Constructable Area

Name	Area
Construction Area	97 m ²
Construction Area Covered Braai	30 m ²
Construction Area Garage	25 m ²
Grand total	152 m²

NETT AREA

Name	Area
Bedroom 1	15.53 m ²
Bedroom 2	14.44 m ²
Covered Braai	27.22 m ²
Dining Room	15.57 m ²
Ensuite	2.70 m ²
Garage	20.87 m ²
Kitchen	13.64 m ²
Lounge	14.11 m ²
Passage	2.75 m ²
WC	6.60 m ²
Grand total	133.44 m²

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NO DIMENSIONS TO BE SCALED FROM THESE DRAWINGS.

REVISIONS

No.	Description	Date	By	To
A	Municipal Plans	2021/08/01	PB	Mun

Zoning classification: Residential Zone 1: Single
Occupation classification: H4
Developer/Development:

STAGE 4.1: MUNICIPAL SUBMISSION

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Client: _____
Client Represent.: _____
Date: _____
Client signature: _____

Design Architecture: _____

Professional: E. de Jager
SACAP no.: PAD 24743947
Signature: _____

Project:
New Dwelling House on Corner of Hartebees and Steenbok St, Erf 1571 Van Dyksbaai.

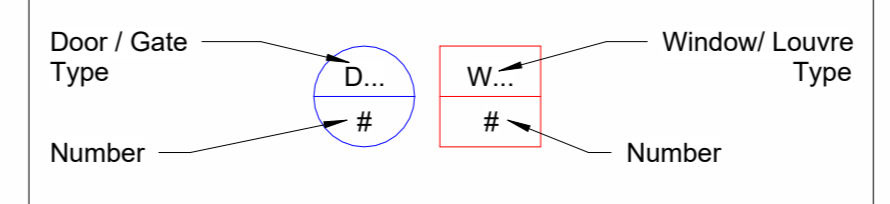
Drawing: Site Plan / Roof layout

DATE	2021/08/01	DRAWN	PB	PAPER SIZE
SCALE	As indicated	CHECKED	EdJ	A1
PROJECT	DJ001	DRAWING NO.	A01-04-001	REVISION
				A

DRAINAGE LEGEND

110Ø uPVC SP	---
50Ø uPVC WP	---
110Ø uPVC SS	---

uPVC Drainage to have minimum invert level of 450mm and maximum fall of 1:40. RE's at ends and at maximum 25m spaces. IE's at junctions. SS 2WV's to be in ducts with access at joints only.



FIRE DOORS:
To be fitted with self closing mechanisms. Refer to reference plan to see amount.

IRONMONGERY:
Refer to specialist details & specification

NOTE:
Shop drawings to be provided for all Windows & doors. Specialist to comply with AAMSA regulations.

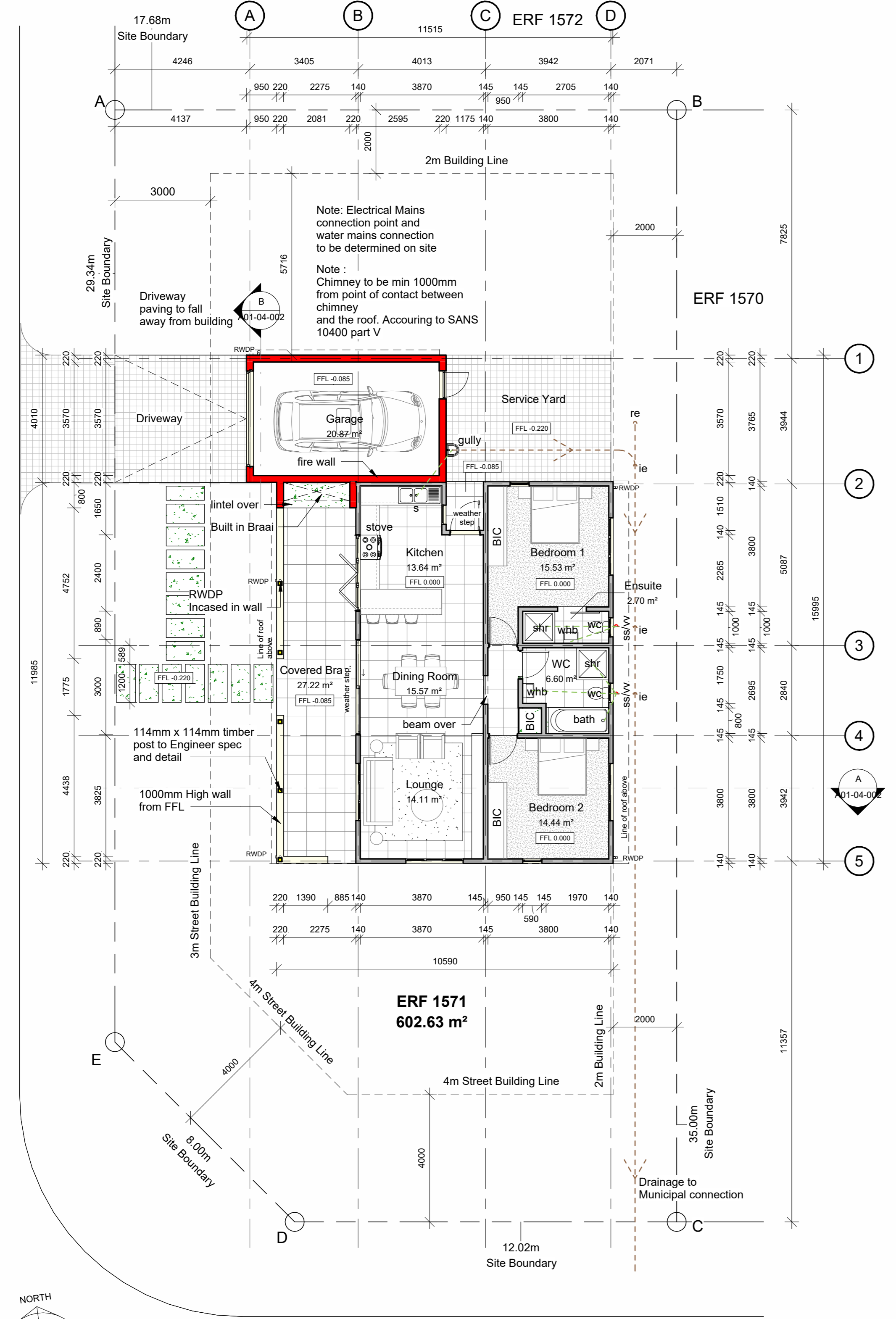
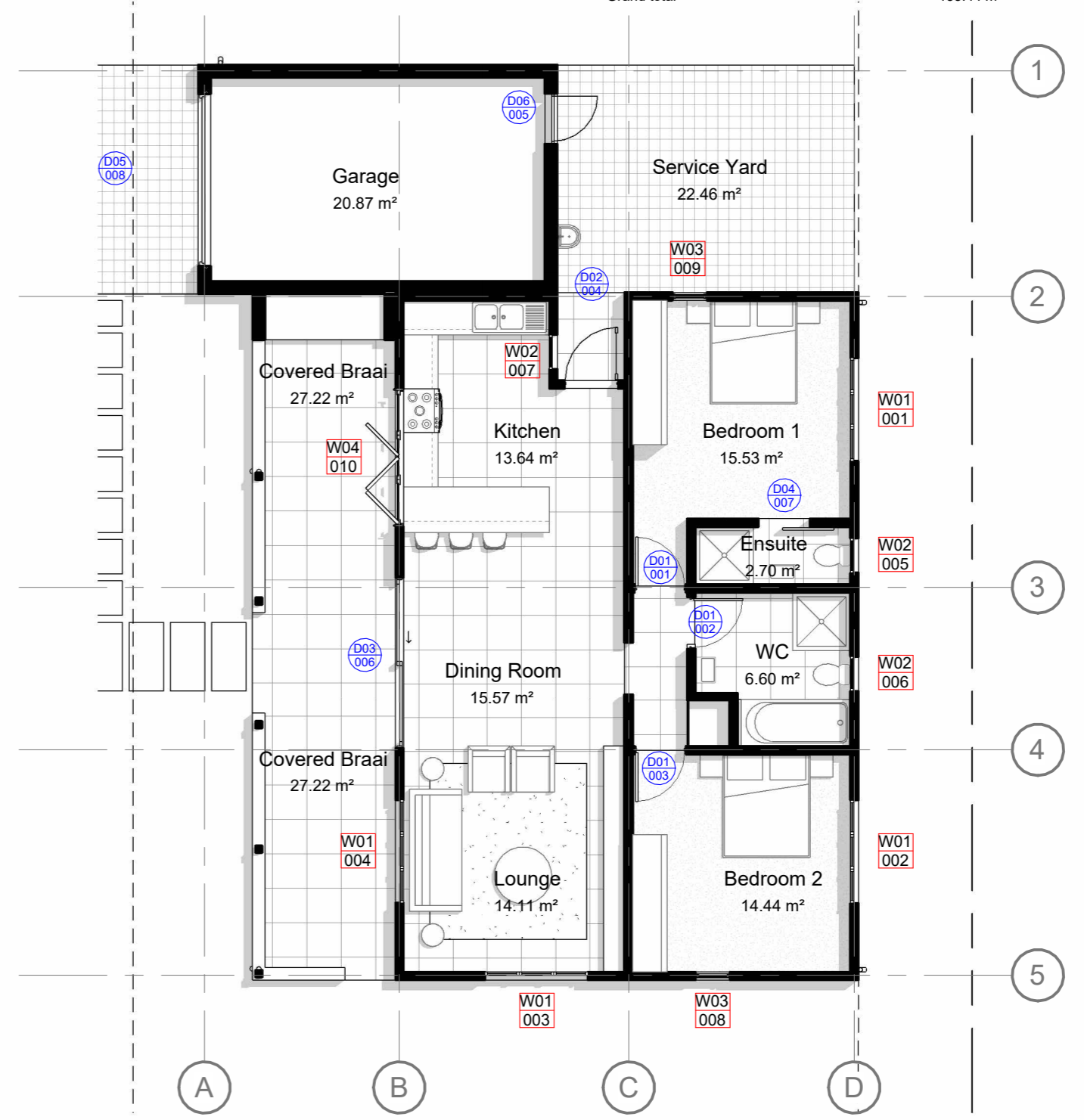
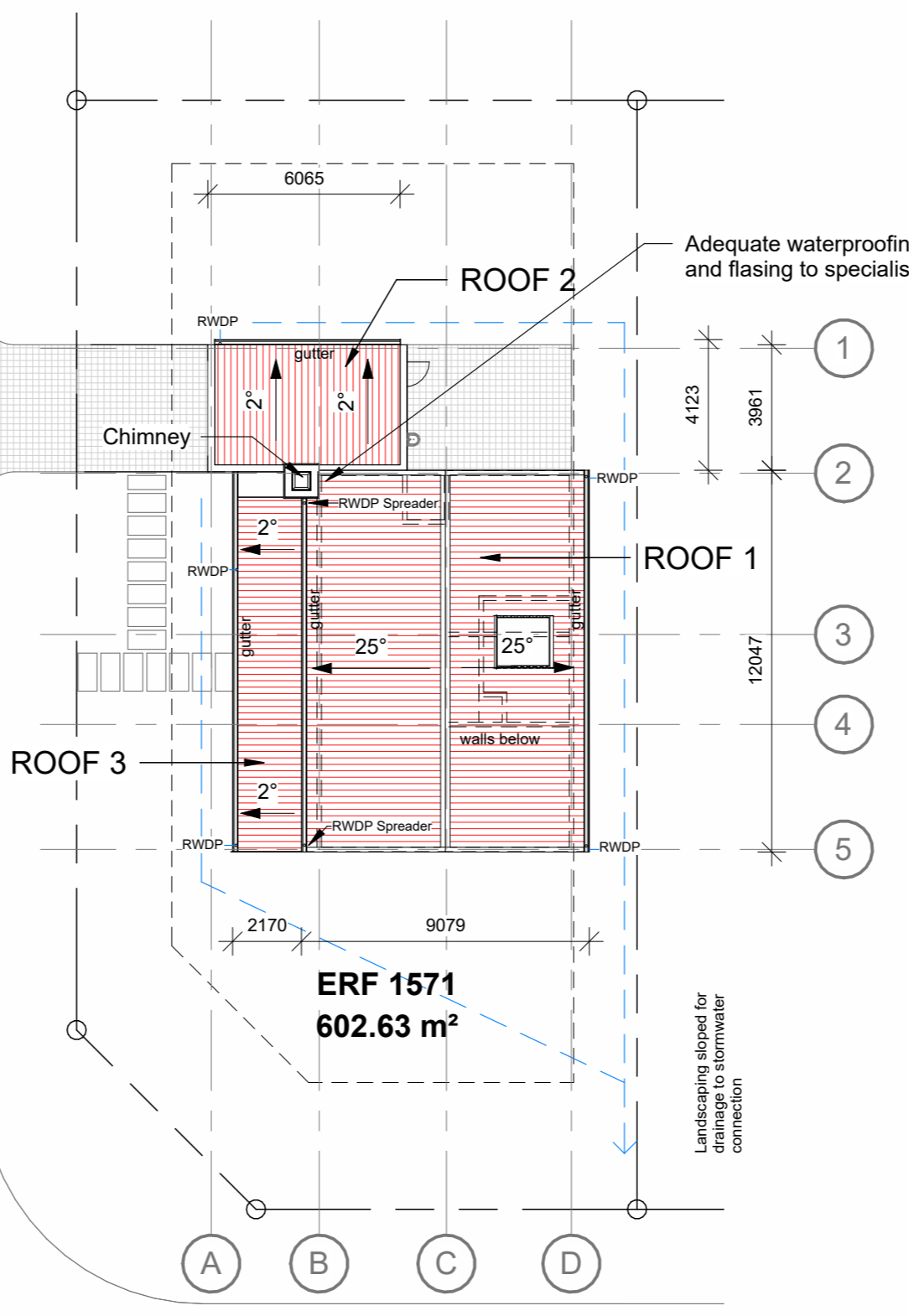
ROOF 1 - Main Roof Construction:
Global Roofing Solutions 700mm cover Klip-Lok 700™ profile roll-formed in continuous lengths @ 25deg fixed to 76 x 52mm Timber purlins @ 1100mm c/c fixed to Engineer roof trusses @ 1100mm c/c
Insulation as per SANS XA report

ROOF 2 - Covered Braai Roof Construction:
Global Roofing Solutions 700mm cover Klip-Lok 700™ profile roll-formed in continuous lengths @ 2deg fixed to 76 x 52mm Timber purlins @ 1100mm c/c fixed to Engineer roof trusses @ 1100mm c/c

ROOF 3 - Garage Roof Construction:
Global Roofing Solutions 700mm cover Klip-Lok 700™ profile roll-formed in continuous lengths @ 2deg fixed to 76 x 52mm Timber purlins @ 1100mm c/c fixed to Engineer roof trusses @ 1100mm c/c

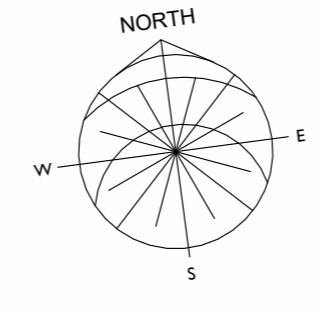
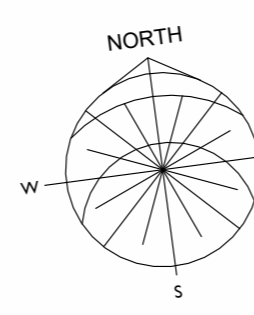
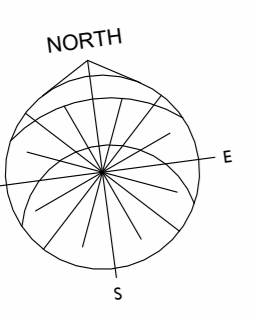
RWDP NOTE:

- Gutter and down pipes - all sizes and numbers of down pipes & gutters to specialist details
- Rainwater down pipes to surface discharge into new stormwater system
- Rainwater down pipe spreader to discharge onto Roof 2 and to be taken down in rwdp



HARTEBEES STREET

REFER TO CIVIL ENGINEERS DRAWINGS AND LEVELS - ALL LEVELS TO BE CONFIRMED BY CIVIL ENGINEER PRIOR TO ANY WORK BEING DONE



CEILING NOTE:
6.4mm Rhinolite Gypsum ceiling boards fixed to 35x38mm SA Pine framework @ 400mm c/c, skimmed & painted, with shadowline profile to specialist details.

ROOF 1 - Main Roof Construction:
Global Roofing Solutions 700mm cover Klip-Lok 700™ profile roll-formed in continuous lengths @ 22deg fixed to 76 x 52mm Timber purlins @ 1100mm c/c fixed to Engineer roof trusses @ 1100mm c/c
Insulation as per SANS XA report

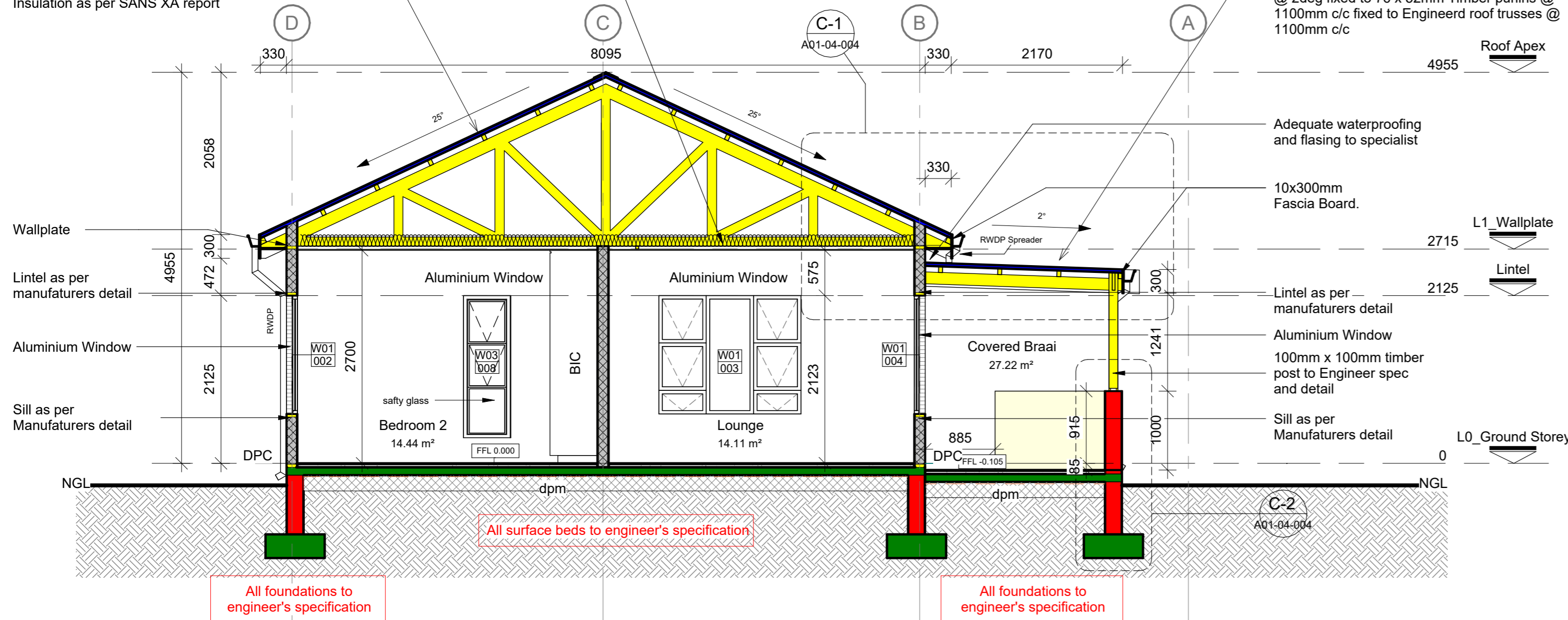
NOTE:
MASONRY WALLS -
ALL DOORS and WINDOWS to receive pre-stressed r.c. lintels over in walls, unless specified otherwise to Engineer's details to Architectural Professional's approval @ height specified on window and door schedule

DRY WALLS -
ALL DOORS and WINDOWS to be built in to timber wall frame with timber lintels over in walls, unless specified otherwise to Engineer's details to Architectural Professional's approval @ height specified on window and door schedule

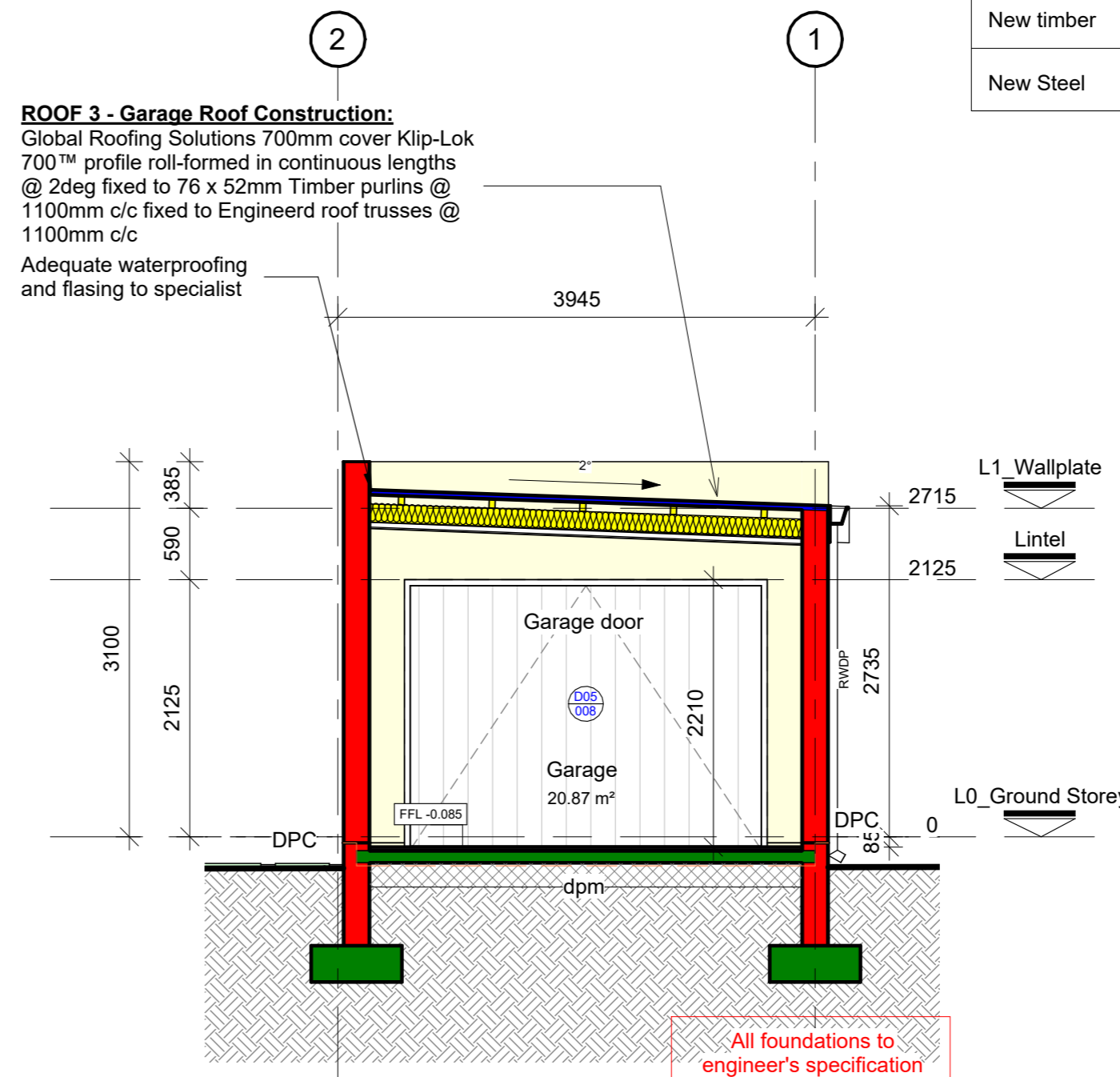
ROOF 2 - Covered Braai Roof Construction:
Global Roofing Solutions 700mm cover Klip-Lok 700™ profile roll-formed in continuous lengths @ 22deg fixed to 76 x 52mm Timber purlins @ 1100mm c/c fixed to Engineer roof trusses @ 1100mm c/c

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Global Roofing Solutions 700mm cover Klip-Lok 700™ profile roll-formed in continuous lengths @ 22deg fixed to 76 x 52mm Timber purlins @ 1100mm c/c fixed to Engineer roof trusses @ 1100mm c/c
Adequate waterproofing and flashing to specialist

SECTION LEGEND	
New Masonry walls	■
New Concrete	■
New timber	■
New Steel	■



(02-04) Section AA
1 : 50



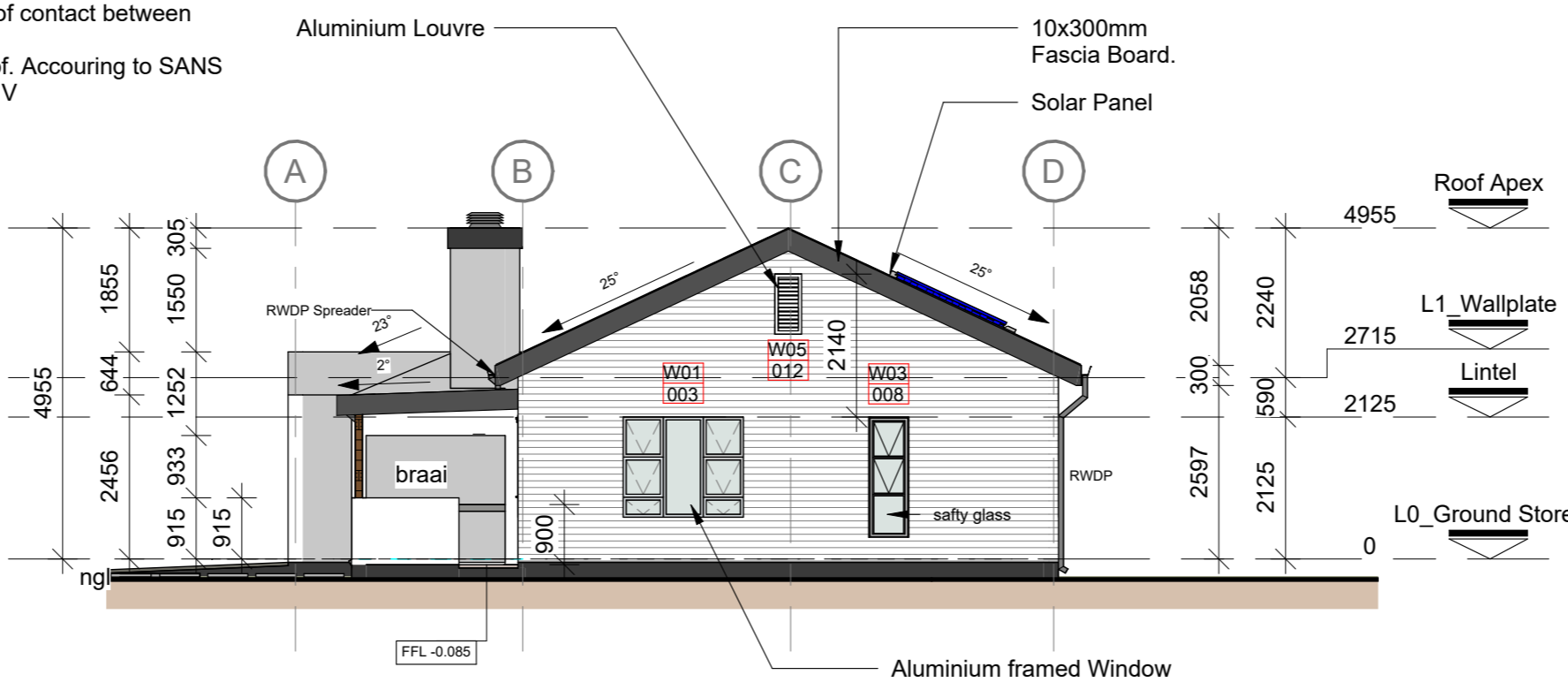
(02-04) Section BB
1 : 50

Masonry Walls :
Plastered and painted colours as per client.

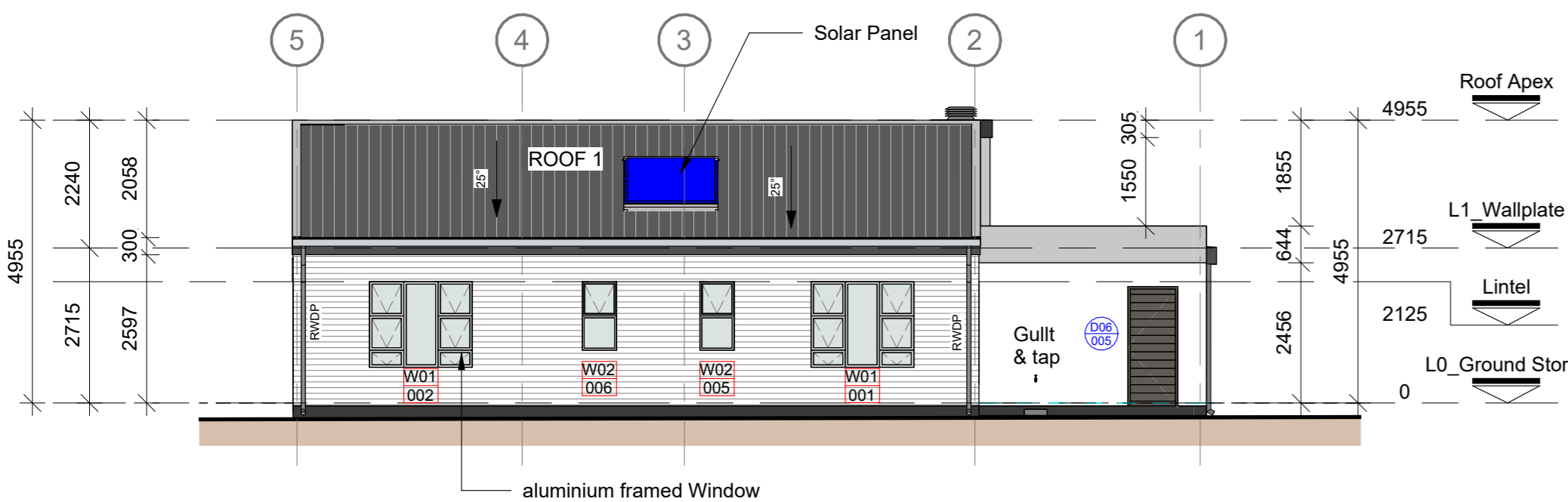
Note :
Chimney to be min 1000mm from point of contact between chimney and the roof. According to SANS 10400 part V



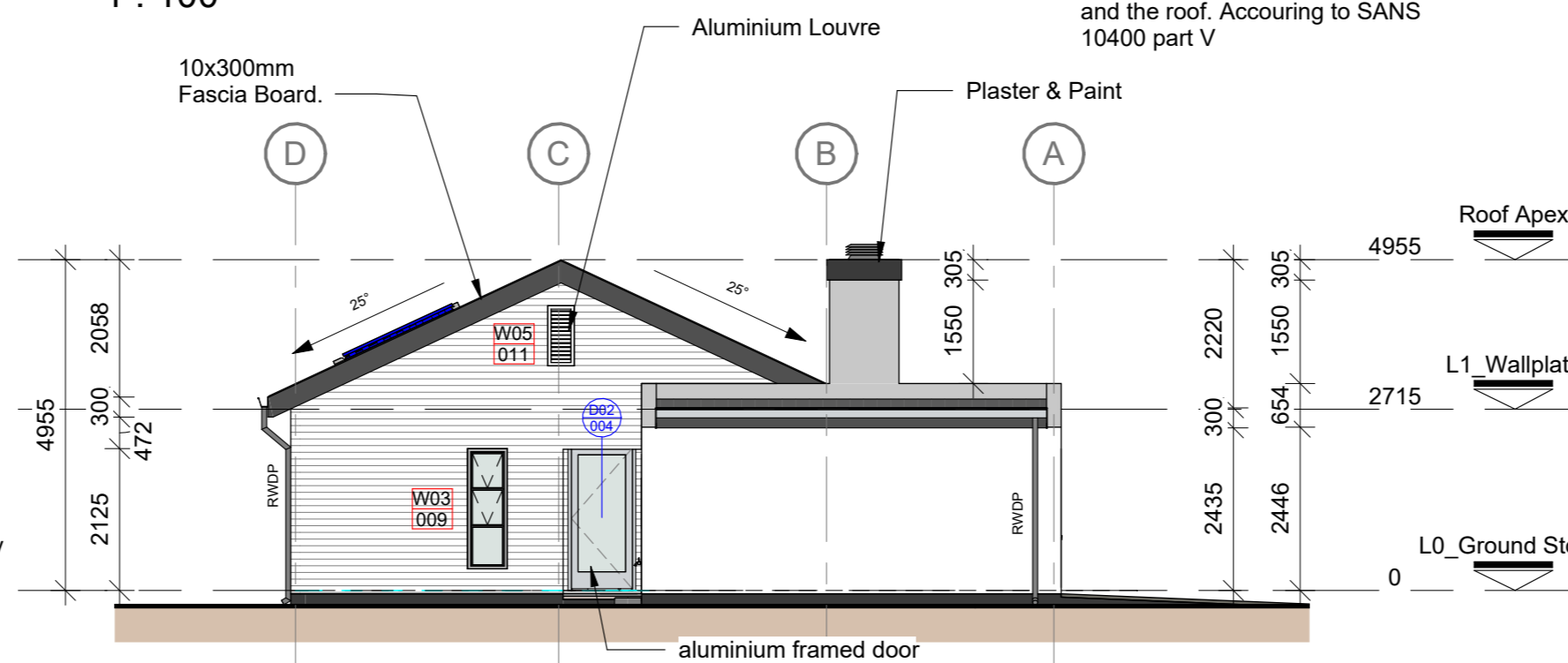
(03-02) West Elevation Copy 1
1 : 100



(03-02) South Elevation Copy 1
1 : 100



(03-02) East Elevation Copy 1
1 : 100



(03-02) North Elevation Copy 1
1 : 100

Finishing Schedule	
Paint #1	Plaster and paint
Paint #2	Plaster and paint
Paint #3	Plaster and paint
Nutec	High density fiber board - color as per client
Metal Sheeting	Powder-coated Sheetmetal as per client
Timber	External Timber post

Water and Energy Saving as per Architectural Guidelines:

The development must incorporate water and energy-saving technologies and must comply with SANS

This must include, but not be limited to the following :

Energy:

Should low energy lighting be installed on grounds of the development, it should be low energy Replacement bulbs must also be Low - energy Lighting must be carefully done to retain the ambience of the immediate area External lighting must be kept at a minimum to reduce energy wastage

All external lights must be designed to switch off during the day

All fitted appliances must have an energy rating and only most efficient models must be used.

Water :

All toilets installed must be dual flush toilets
All shower heads must be fitted with a water-saving device i.e. low-flow showerheads
Tap aerators and/or flow restrictors must also be installed on all taps

All geysers must be covered with geyser "blankets" to improve the efficiency of all geysers.
All geyser thermostats must be set to the most optimal temperature.

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REVISIONS

No.	Description	Date	By	To
A	Municipal Plans	2021/08/01	PB	Mun

Zoning classification: Residential Zone 1: Single

Occupation classification: H4

Developer/Development:

STAGE 4.1: MUNICIPAL SUBMISSION

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Client :

Client Represent.:

Date :

Client signature:

Design Architecture:

Professional: E. de Jager

SACAP no.: PAD 24743947

Signature:

Project:

New Dwelling House on Corner of Hartebees and Steenbok St, Erf 1571 Van Dykbaai.

Drawing:

Sections and Elevations

DATE	2021/08/01	DRAWN	PB	PAPER SIZE
SCALE	As indicated	CHECKED	EdJ	A1
PROJECT	DJ001	DRAWING NO.	A01-04-002	REVISION
				A

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WINDOW SCHEDULE

SCALE 1:50

Type	W01	Type	W02	Type	W03	Type	W04	Type	W05
Description	Purpose made Aluminium and glass fixed pane window as shown	Description	Purpose made Aluminium and glass fixed pane window as shown	Description	Purpose made Aluminium and glass fixed pane window as shown	Description	Purpose made Aluminium and glass fixed pane window as shown	Description	Gable end Mock vent
Glass	4 mm clear float glass, 6.4 mm safety glass where indicated, all glass to comply to SANS 10400 XA and energy calculation specifications safety glass in bathrooms (obscured) and 500mm above FFL	Glass	4 mm clear float glass, 6.4 mm safety glass where indicated, all glass to comply to SANS 10400 XA and energy calculation specifications safety glass in bathrooms (obscured) and 500mm above FFL	Glass	4 mm clear float glass, 6.4 mm safety glass where indicated, all glass to comply to SANS 10400 XA and energy calculation specifications safety glass in bathrooms (obscured) and 500mm above FFL	Glass	4 mm clear float glass, 6.4 mm safety glass where indicated, all glass to comply to SANS 10400 XA and energy calculation specifications safety glass in bathrooms (obscured) and 500mm above FFL	Glass	N/A
Frame	Aluminium	Frame	Aluminium	Frame	Aluminium	Frame	Aluminium	Frame	Aluminium
Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)
Ironmongery	To specialist detail & specification, supplier to provide adequate Ironmongery shopdrawings of door & Ironmongery before ordered. Client to approve prior to procurement	Ironmongery	To specialist detail & specification, supplier to provide adequate Ironmongery shopdrawings of door & Ironmongery before ordered. Client to approve prior to procurement	Ironmongery	To specialist detail & specification, supplier to provide adequate Ironmongery shopdrawings of door & Ironmongery before ordered. Client to approve prior to procurement	Ironmongery	To specialist detail & specification, supplier to provide adequate Ironmongery shopdrawings of door & Ironmongery before ordered. Client to approve prior to procurement	Ironmongery	To specialist detail & specification, supplier to provide adequate Ironmongery shopdrawings of door & Ironmongery before ordered. Client to approve prior to procurement

DOOR SCHEDULE

SCALE 1:50

Type	D01	Type	D02	Type	D03	Type	D04	Type	D05	Type	D06
Description	Internal hollow core door	Description	Aluminium framed door	Description	Aluminium framed Sliding door	Description	Internal Timber Sliding door	Description	Motorized Garage door	Description	Solid core door Vertically slatted
Glass	N/A	Glass	4 mm clear float glass, 6.4 mm safety glass where indicated, all glass to comply to SANS 10400 XA	Glass	4 mm clear float glass, 6.4 mm safety glass where indicated, all glass to comply to SANS 10400 XA	Glass	N/A	Glass	N/A	Glass	N/A
Frame	Timber	Frame	Aluminium	Frame	Aluminium	Frame	Timber	Frame	As per supplier	Frame	Timber
Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Painted - As per client	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)	Colour	Colour specification: Charcoal powder coating, supplied by a manufacturer complying with SANS 1578. (To be approved by Client)
Ironmongery	To specialist detail & specification, supplier to provide adequate Ironmongery shopdrawings of door & Ironmongery before ordered. Client to approve prior to procurement										

WINDOW COUNT

Type	Mark
W01	001
W01	002
W01	003
W01	004
W01.4	005
W02	006
W02	007
W02.3	008
W03	009
W03.2	010
W04.1	011
W05	012
W05.2	013
Grand total:	12

DOOR COUNT

Type	Mark
D01	001
D01	002
D01	003
D01.3	004
D02	005
D03	006
D03.1	007
D04	008
D04.1	009
D05	010
D05.1	011
D06	012
D06.1	013
Grand total:	8

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REVISIONS

No.	Description	Date	By	To
A	Municipal Plans	2021/08/01	PB	Mun

Zoning classification: Residential Zone 1: Single

Occupation classification: H4

Developer/Development:

STAGE 4.1: MUNICIPAL SUBMISSION

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Professional: E. de Jager

SACAP no.: PAD 24743947

Signature:

Project:

New Dwelling House on Corner of Hartebees and Steenbok St, Erf 1571 Van Dykbaai.

Drawing:

Window and Door Schedule

DATE	2021/08/01	DRAWN	PB	PAPER SIZE
SCALE	1:50	CHECKED	EdJ	A1
PROJECT	DJ001	DRAWING NO.	A01-04-003	REVISION
				A

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COMPLIANCE TO SANS 10400 X (XA) AND SANS 204

ADDITIONAL SANS 10400 PART X (XA) AND SANS 204 REQUIREMENT NOTES AND SPECIFICATIONS

To be read in conjunction with the SANS 10400 XA Report (ENERGY EFFICIENCY REPORT) and CONSTRUCTION DRAWINGS with supporting documentation by Suppliers and/or Manufacturers

PROJECT DETAILS :
 Project Number: DJ001
 Job Description: New Dwelling
 Client: E De Jager
 Erf Number: 1571
 Municipality: Van Dykbaai
 Overstrand - Caledon

SANS REGULATION PERIMETERS :
 Class of Occupation: H4
 Orientation: East
 Design: 12/5 [hours per day / days per week]
 Design Population: 1 person/5 m²
 Population: 4 persons

BUILDING ORIENTATION : East

CLIMATE ZONE : Temperate Coastal

FLOOR AREA :
 Gross Floor area: 152m²
 Nett Floor Area: 159m² (habitable space)

FENESTRATION :
 Dwelling Nett area total: 133.4m²
 Fenestration required: 15%
 Total Nett Glazed Area = (19.513/133.4) = 14.6%
 Fenestration deemed to satisfy: 14%

HOT WATER :
 Type of Accommodation: Dwelling
 Hot Water Demand: 80L/Capita
 Daily Hot water demand (4 x 80L) : 320L(assumed)

160L - To be heated by means other than electrical resistance heating - Solar Geyser System

REFERENCE NOTES

NOTE 1.0 SURFACE BED CONSTRUCTION :
 Requirement: minimum R-value 1.0 required in terms of SANS XA section 4.4.2 SANS 204 section 4.3;
 and
 Refer to specification note 100 mm concrete surface bed R-value of 0.37
 Achieved: 0.37

NOTE 2.0 FENESTRATION SPECIFICATION
 Refer to Window and Door schedule for detail specification
 Product Specification: Aluminium
 Glass Specification: Glass to doors and windows to be Laminated Safety Glass, Intruderprufe NS from SMARTGLASS Solutions with the following requirements :
 U-value: 7.9
 SHGC: 0.81

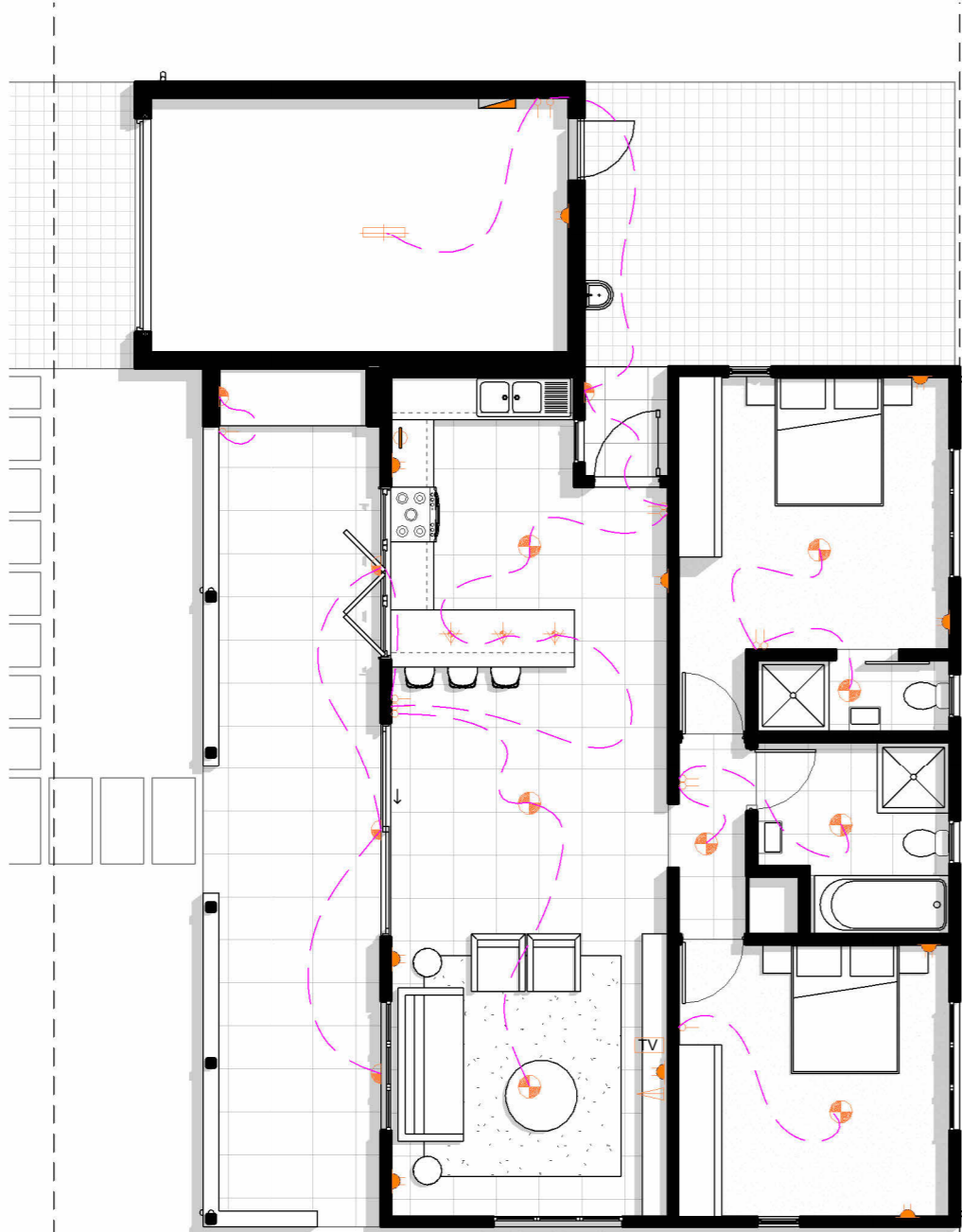
NOTE 3.0 GENERAL ROOF CONSTRUCTION
 Required Value: 3.2
 Roof covering: Sheet metal = 0.3
 Ceiling Board: 6.4mm Rhinoboard ceiling boards = 0.057

Under roof covering insulation: Coverland double-side Radenshield reflective barrier (Code: 605202) with joints lapped 150mm, fixed over rafters. = 1.59
 Ceiling board insulation: Isover flexible min 100mm Thick Aerolite non-combustible lightweight fibreglass reinforced insulation blanket (Class 1 fire index rating), closely fitted with ends butted firmly between tie beams and laid loose on top of bradinger between roof timbers, all in accordance with manufacturer's recommendations = 2.50

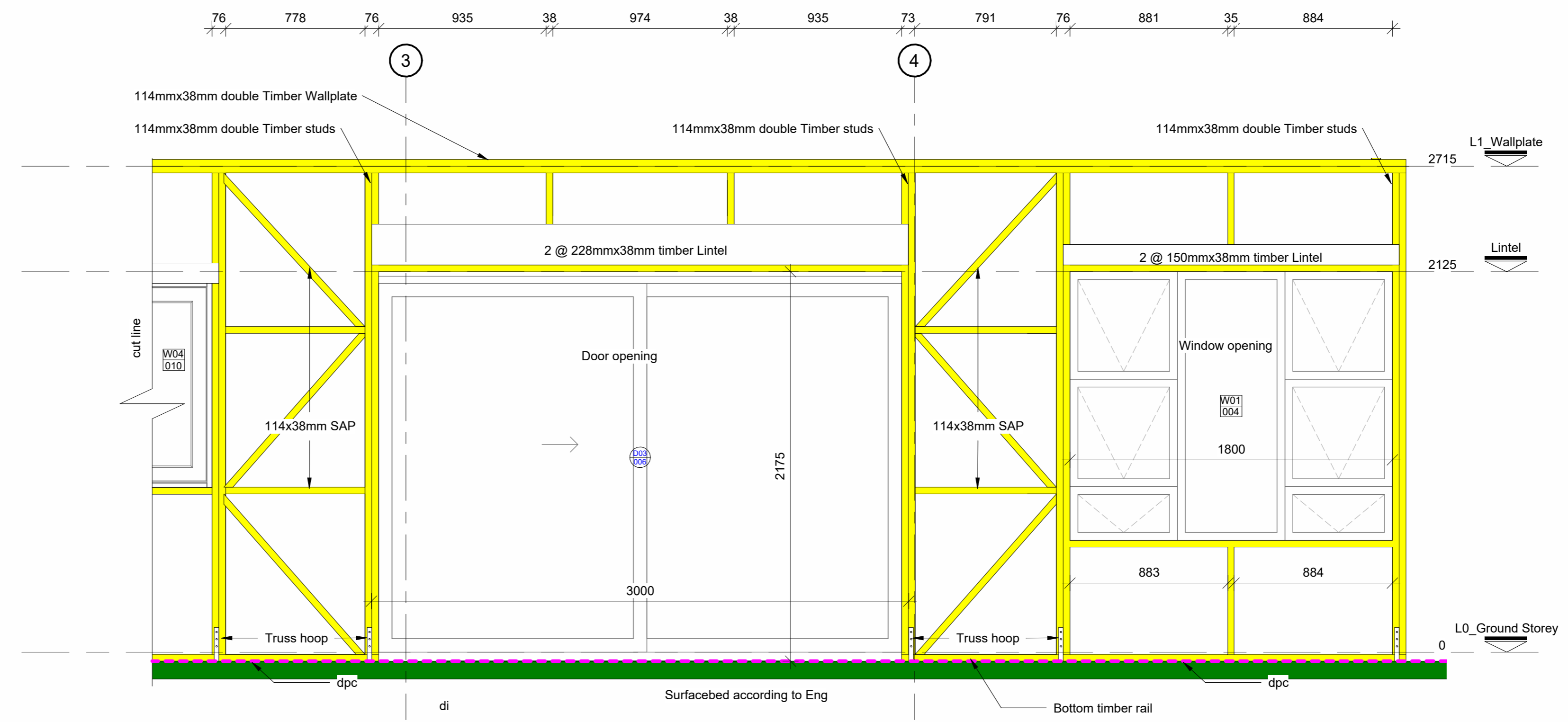
Achieved: = 4.44 m². k/W

ELECTRICAL LEGEND

	DISTRIBUTION BOARD
	ELECTRICAL PREPAID METER
	CEILING LIGHT POINT
	FLUORESCENT TUBE POINT
	WALL LIGHT @ 2200mm AFFL
	PENDENT LIGHTS
	LIGHT SWITCH @ 1100mm AFFL
	DOUBLE PLUG POINT @ 1050mm AFFL
	DOUBLE PLUG POINT @ 300mm AFFL where with a T.V. point @ appropriate height
	SINGLE PLUG POINT @ 300mm AFFL where with a T.V. point @ appropriate height
	STOVE CONNECTION POINT
	ISOLATOR SWITCH @ 1050mm AFFL
	STOVE EXTRACTOR CANOPY POINT @ 2200mm AFFL
	TELEVISION AERIAL POINT @ 300mm AFFL
	TELEPHONE
	GARAGE DOOR MOTOR & PLUG
	DATA POINT/ ETHERNET PORT



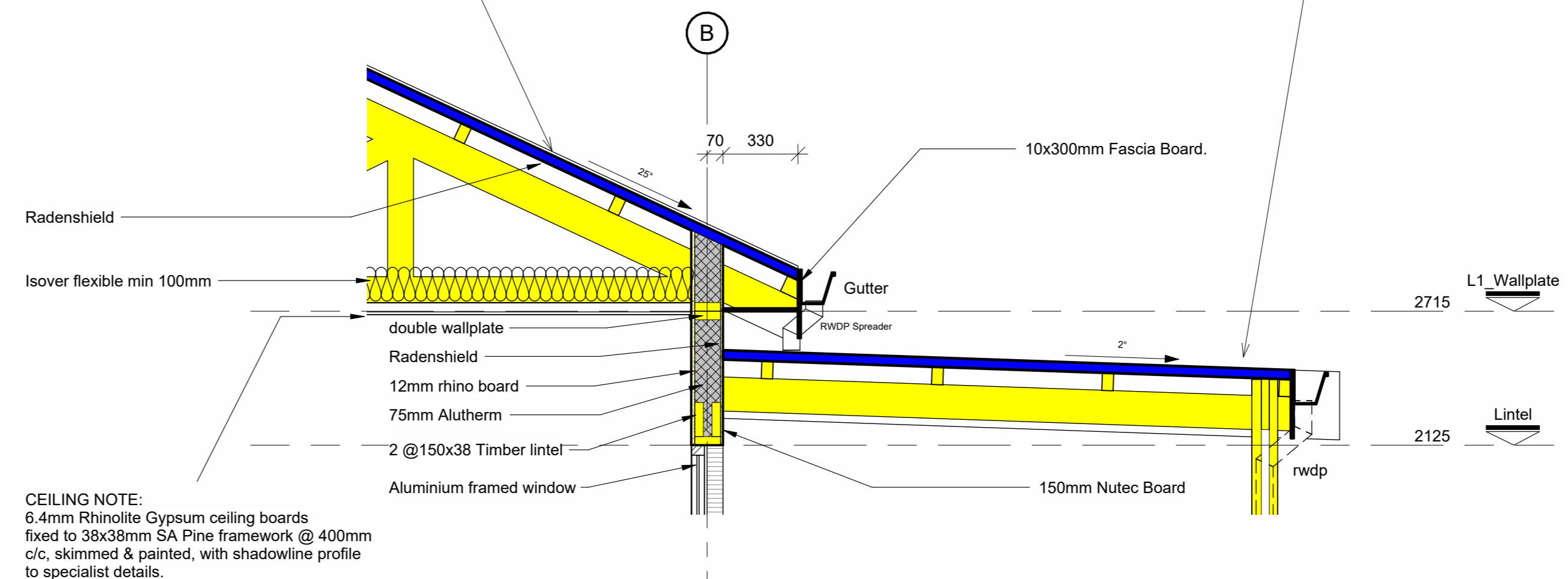
Electrical Plan
1 : 100



Window and door Wall Structure Detail
1 : 20

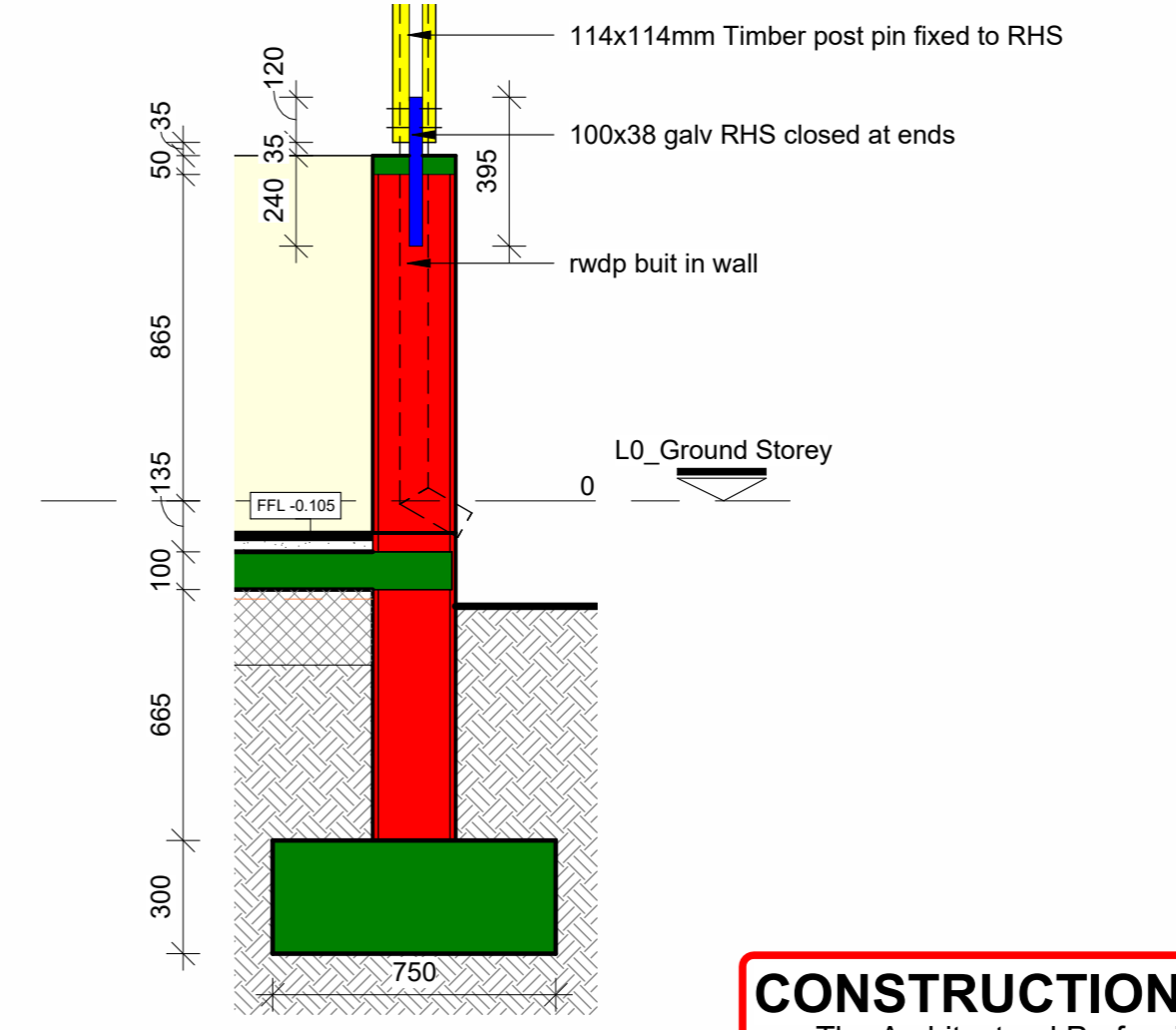
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ROOF 2 - Covered Braai Roof Construction:
 Global Roofing Solutions 700mm cover Klip-Lok 700™ profile roll-formed in continuous lengths @ 2deg fixed to 76 x 52mm Timber purlins @ 1100mm c/c fixed to Engineerd roof trusses @ 1100mm c/c



(02-04) Section AA - Callout 1
1 : 20

CEILING NOTE:
 6.4mm Rhinolite Gypsum ceiling boards fixed to 38x38mm SA Pine framework @ 400mm c/c, skimmed & painted, with shadowline profile to specialist details.



(02-04) Section AA - Callout 2
1 : 20

CONSTRUCTION DISCLAIMER
 The Architectural Professional will not be held liable if these drawings are implemented prior to Municipal Approval.

LEGAL REQUIREMENTS

DIMENSIONS, DESCRIPTIONS & QUANTITIES ON THESE DRAWINGS TO BE VERIFIED ON SITE BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.
 ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS & STANDARDS ACT (ACT 103 OF 1977 & SANS 10400)
 ALL TIMBER SIZES & GRADES TO BE VERIFIED & APPROVED BY SUPPLIER'S ENGINEER.
 ALL TRUSSES TO BE IN ACCORDANCE WITH SUPPLIER'S / ENGINEER'S DESIGN & APPROVAL BY CLIENT.
 ALL MATERIALS TO BE BUILT IN / APPLIED STRICTLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
 ALL LOCAL AUTHORITY, UTILITY SERVICE PROVIDER REQUIREMENTS TO BE ESTABLISHED IN ADVANCE AND ADHERED TO.
 ALL BOUNDARY PEGS TO BE LOCATED, AND MARKED, BEFORE WORK IS TAKEN IN HAND.
 ANY DISCREPANCIES BETWEEN THESE DRAWINGS & LEGISLATION, LOCAL AUTHORITY, UTILITY SERVICE PROVIDER & GOOD CONSTRUCTION PRACTICE TO BE REFERRED TO THE ARCHITECT BEFORE CONSTRUCTION COMMENCES.
 ANY ASPECT DEEMED TO BE UNCLEAR TO BE REFERRED TO THE ARCHITECT FOR CLARITY.
 THESE DRAWINGS DO NOT CONSTITUTE A COMPREHENSIVE SPECIFICATION FOR THE WORKS.
 NO DIMENSIONS TO BE SCALED FROM THESE DRAWINGS.

REVISIONS

No.	Description	Date	By	To
A	Municipal Plans	2021/08/01	PB	Mun

Zoning classification: Residential Zone 1: Single
 Occupation classification: H4
 Developer/Development:

STAGE 4.1: MUNICIPAL SUBMISSION

THIS DRAWING TO BE STAMPED BY BPAS FOR PENDING APPROVAL OF CONSTRUCTION. BPAS CAN NOT BE HELD LIABLE, RESPONSIBLE OR ACCOUNTABLE FOR ANY UNAUTHORIZED DRAWINGS USED FOR CONSTRUCTION. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE STAMPED.

Client: _____
 Client Represent.: _____
 Date: _____
 Client signature: _____

Design Architecture: _____

Professional: E. de Jager
 SACAP no.: PAD 24743947
 Signature: _____

Project:
New Dwelling House on Corner of Hartebees and Steenbok St, Erf 1571 Van Dykbaai.

Drawing: Details & Electrical plan

DATE	2021/08/01	DRAWN	PB	PAPER SIZE
SCALE	As indicated	CHECKED	EdJ	A1
PROJECT	DJ001	DRAWING NO.	A01-04-004	REVISION
				A