



**CERTIFICATE OF CONFORMITY FOR GAS INSTALLATIONS: OCCUPATIONAL HEALTH AND SAFETY ACT, 1993**  
**Regulation 17(3) of the Pressure Equipment Regulations, 2009**



Certificate of conformity by an authorised person Certificate No: **Nº 806594**

Installer details and declaration: I, Jaco Delport declare that I am an authorised person for gas installations with the registration number QCC 919 and ID Number 7706255011087  
 Address: Manderson Rd. Shop 9 Telephone number 0913603816 Cell No 0823059861  
Wafegq Email: info@lpgsolutions.co.za  
 I further declare that I inspected and tested the installation at: Street: \_\_\_\_\_ Stand No: \_\_\_\_\_  
 Name of Building Riverstone Villas Name of Farm \_\_\_\_\_ Farm No: 32  
 Township/Municipality/District Shawwood  
 Name of Gas supplier LPGaz Amount of Gas stored on premises: 9 kg  
 and that in terms of regulation 17(3) the installation complies with the provisions of 17(2) and that the installation is safe  
 am aware that I am liable to prosecution in the case of a false declaration  
 Installer Signature [Signature] Date: 2/11/2021

Owner/user details and declaration: I, Premier Development the owner/user of the installation and equipment described below, confirm that I have been informed of the following:  
 The safe handling and storage of LPG cylinders; The importance of ventilation when using gas equipment; Emergency action in the event of a gas leak or fire; Maintenance of the gas installation; Approved appliances and user instructions  
 Signature \_\_\_\_\_ Telephone number ( ) \_\_\_\_\_ Cell number 082565379

Please ensure that you read the contents of this certificate and have been made aware of the safe use of the LP Gas system

Installation details		Installation standards							
Installation type		Domestic	<input checked="" type="checkbox"/> Commercial	Industrial	Autogas	Filling			
Cylinder size	Qty	Tanks		Pipework type	Steel	Copper	Composite	CSST	HDPE
9 kg	?	Tons (LPG)		Surface			X		
19 kg		Volume(m³)		Embedded					
48 kg		NO: installed		In roof					
Dumpe				Buried					
Manifolds				Filing Site					
Vapour		Liquid		Pipe run in m			2		
Type:		Type:		Regulator Brand	Model No	Regulator Brand	Model No	Regulator Brand	Model No
Type:		Type:		<u>Safegard S25</u>					
Appliances		Type	<u>HOB</u>	Brand	<u>Defy</u>	Model No	<u>DHG 604</u>		
Note: for domestic and commercial installations, only appliances that comply with SANS 1539 may be installed. If in doubt contact the manufacturer or installer for the		Type		Brand		Model No			
		Type		Brand		Model No			

MR AND MRS D J AND H FERREIRA

BY HAND

Our Ref: Doc De Kock/Ilse  
Tel: 041 502 7292  
Fax: 086 6364784  
E-mail: ilse@pagdens.co.za

Your Ref. Elizna

Date: 10 January 2022

Dear Sirs

TITLE DEED T19977/2021  
ERF 4583 KABEGA

We refer to the above and enclose herewith original Deed of Transfer Number:  
T19977/2021 for your safe keeping.

Yours faithfully,

DOC DE KOCK

◀ attorneys | est. 1898 ▶

Pagdens Court, 18 Castle Hill, Central, Port Elizabeth, 6001 • P O Box 132, Port Elizabeth, 6000  
Tel +27 41 502 7200 • Fax +27 41 585 2239 • Docex 7 Port Elizabeth • E-mail info@pagdens.co.za • Web [www.pagdens.co.za](http://www.pagdens.co.za)

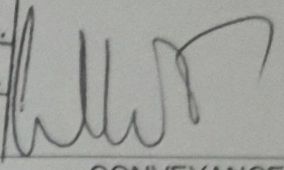
Directors: B A Weddell • J P L Eksteen (Chairman) • N Carstens • M J Kemp  
R H Parker (Consultant) • W M De Kock (Consultant)  
D Santhia (Associate) • J S Lizamore (Associate)

HUTTON & COOK  
**3**  
 FILE No.  
 TEL 043 8423410

Pagdens Incorporated  
 18 Castle Hill  
 Central  
 PORT ELIZABETH  
 6001

Fee Endorsement		
	Amount	Office Fee
Purchase Price/Value	R 300 000,00	R 567,00
Mortgage Capital Amt.	R .....	R .....
ALL OTHER REGISTRATIONS		
Reason For Exemption	Category Exemption.....	Exempt i.t.o Sect/Reg Act/Proc .....

Prepared by me



CONVEYANCER  
 WILHELM MALAN DE KOCK  
 LPCM NUMBER: 82518

**T** 19977 /2021

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

MARGARET ELEANOR BROOKS  
 (M 83416)

appeared before me, REGISTRAR OF DEEDS at KING WILLIAM'S TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

**PREMIER ATTRACTION 104 CC**  
**Registration Number 2003/036429/23**

which said Power of Attorney was signed at PORT ELIZABETH on 29 August 2021

b

And the appearer declared that his/her said principal had, on 26 July 2021, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**DANIEL JOHANNES FERREIRA**  
**Identity Number 580811 5041 08 0**  
**and**  
**HUIBRECHT FERREIRA**  
**Identity Number 581208 0024 08 9**  
**Married in community of property to each other**

their Heirs, Executors, Administrators or Assigns, in full and free property

ERF 4583 KABEGA, in the Nelson Mandela Bay Metropolitan Municipality,  
Division of PORT ELIZABETH, Province of the Eastern Cape;

IN EXTENT 202 (TWO HUNDRED AND TWO) Square metres

AS WILL APPEAR from General Plan SG No 929/2018 and held by Deed of  
Transfer Number T65081/2013CTN

- A. SUBJECT to such conditions as are referred to in Deed of Transfer Number T12533/1954CTN save in so far as these may have since lapsed or been cancelled.
- B. SUBJECT to the following conditions contained in said Deed of Transfer Number T14379/1965CTN imposed by the Administrator of the Cape of Good Hope under the provisions of Section 18(3) of Ordinance No 33 of 1934, when approving the abovementioned Township:
1. Any words and expressions used in the following conditions shall have the same meaning as may have been assigned to them by the regulations published under Provincial Administration Notice No 401 dated 17<sup>th</sup> October 1935, and in the Memorandum which accompanied the said Regulations.
  2. The owner of this erf shall, without compensation, be obliged to allow electricity and water mains and the sewage and drainage including stormwater of any other erf or erven with or without this subdivision to be conveyed across this erf if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time in order to construct, maintain, alter, remove or inspect any sewer, manhole, channel, conduit or other works pertaining thereto.

3. The owner of this erf shall be obliged, without compensation, to receive the material or permit excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.

C. SUBJECT to the following condition imposed by PREMIER ATTRACTION 104 CC, Registration Number: 2003/036429/23 as owner of Erf 14 Kabega when creating Erven 4575 to 4625 Kabega for the benefit of the Riverstone Villas Home Owners Association established in terms of Section 29 of Ordinance 15 of 1985, namely:

The property may not be transferred without the written consent of the Riverstone Villas Home Owners Association.

D. SUBJECT to the following condition imposed by the Nelson Mandela Bay Metropolitan Municipality in terms of the provisions of Ordinance No 15 of 1985:

That this erf shall not be transferred to anybody or person unless such body or person has undertaken to become a member of the Riverstone Villas Home Owners Association as contemplated in terms of the provision of Section 29 of Ordinance 15 of 1985, in respect of the subdivision of which this erf forms part, upon registration of transfer.

E. SUBJECT to the condition contained in Regulation 3.5 of the Scheme Regulations (PN 1047/88) framed in terms of Section 7(2) of the Land Use Planning Ordinance No. 15/1985, reading:

1. The person who at any time is the owner of each land unit directly involved in the subdivision shall be required without compensation:

1.1 to allow gas mains, electricity, telephone and television cables and/or wires, main and/or other water-pipes and foulsewers and stormwater pipes, ditches and channels of any other land unit or units to be conveyed across the land unit concerned, and surface installations such as mini substations, meter kiosks and service pillars to be installed thereon if considered necessary by the Council

in such manner and position as may from time to time be reasonably required; this shall include the right of access to the land unit at any reasonable time for the purposes of constructing, altering, removing or inspecting any works connected with the above;

1.2 To receive such material or permit such excavation in the land unit as may be required to allow use of the full width of an abutting street and provide a safe and proper slope to its bank necessitated by difference between the level of the street as finally constructed and the level of the land unit, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the Council.

WHEREFORE the said Appearer, renouncing all rights and title which the said

**PREMIER ATTRACTION 104 CC  
Registration Number 2003/036429/23**


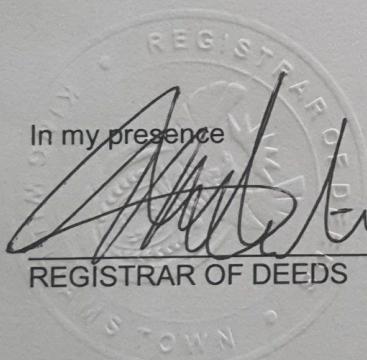
heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

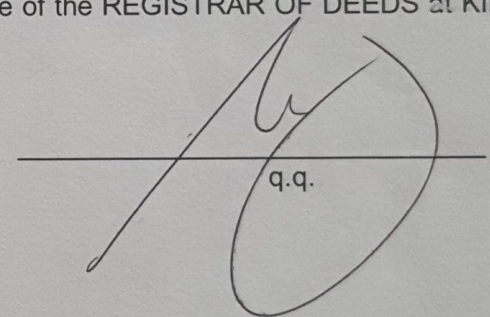
**DANIEL JOHANNES FERREIRA and HUIBRECHT FERREIRA, Married as aforesaid**

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R300 000,00 (THREE HUNDRED THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at KING WILLIAM'S TOWN on 2021 -11- 04

In my presence  
  
REGISTRAR OF DEEDS  


  
q.q.

